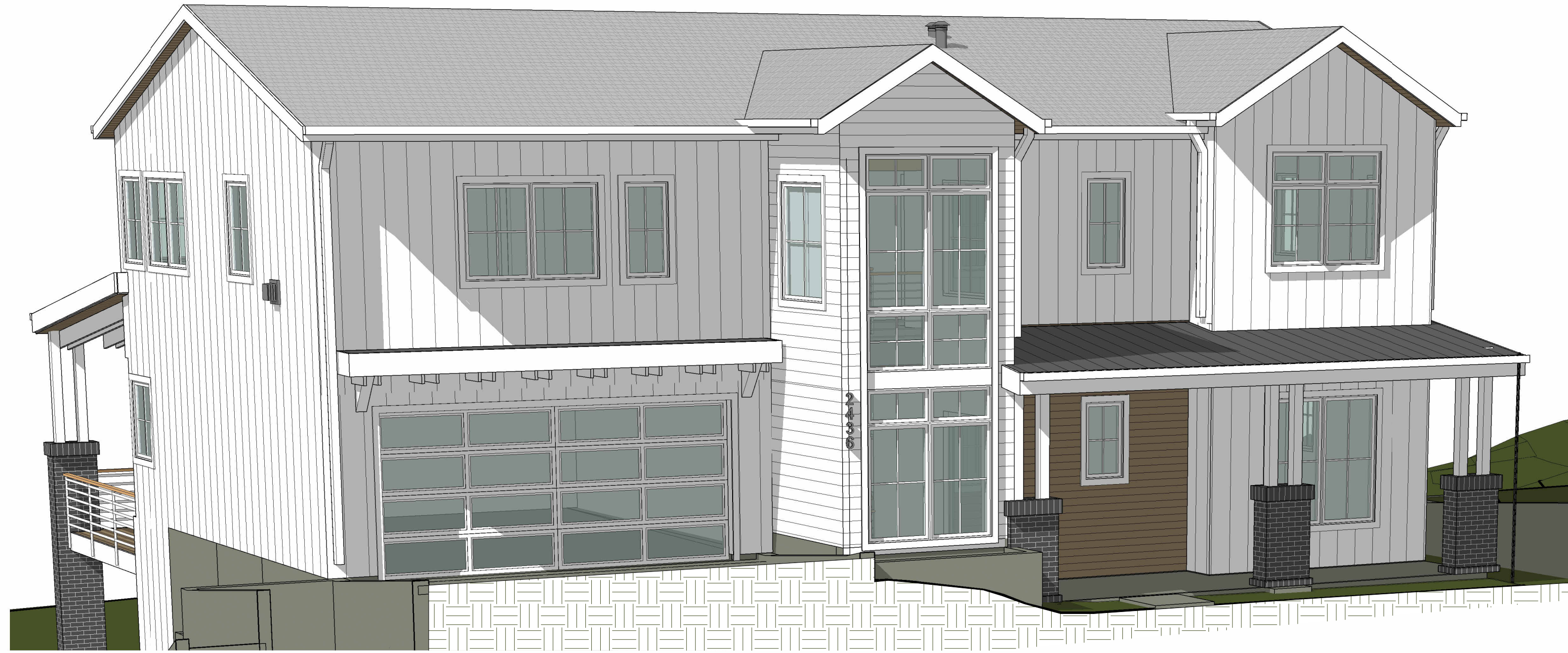


2436 74TH AVE SE



PERSPECTIVE 1
NTS

NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

PROJECT DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION OF SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.

OWNER: LNL BUILDS L.L.C.
BLAKE LANZ
317 4TH ST
KIRKLAND, WA 98033
P: 206.715.6200
E: BLAKE@LNLBUILDS.COM

ARCHITECT: SCHUYLER TUTT
MEDICI ARCHITECTS
11711 SE 8TH ST, SUITE 100
BELLEVUE, WA 98005
P: 425.453.9298
E: SCHUYLER@MEDICIARCHITECTS.COM

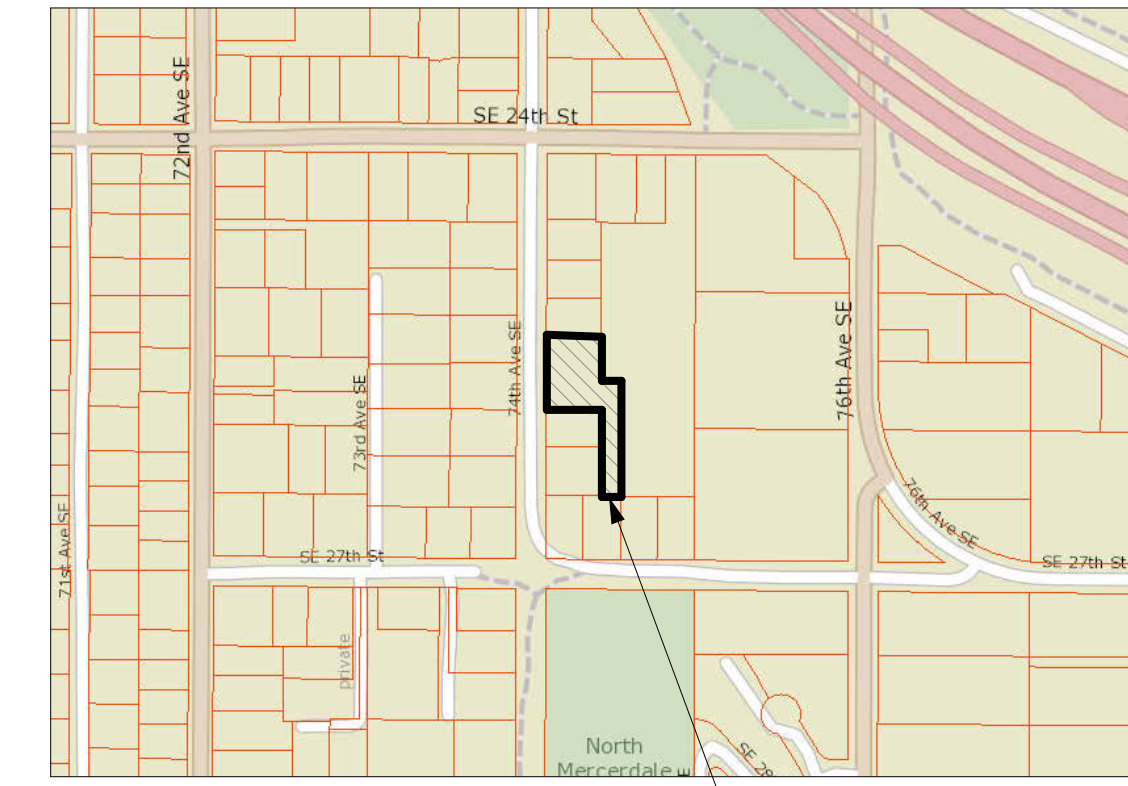
STRUCTURAL ENGINEER: MULHERN & KULP
RICHARD ZABEL
7220 TRADE ST, SUITE 295
SAN DIEGO, CA 92121
P: 619.650.0010
E: RZABEL@MULHERNKULP.COM

CIVIL ENGINEER: MAHER JOUDI
D.R. STRONG
620 7TH AVE
KIRKLAND, WA 98033
P: 425.827.3063
E: MAHER.JOUDI@DRSTRONG.COM

ARBORIST: DAVEY RESOURCE GROUP, INC.
TODD BEALS
18809 10TH AVE NE
SHORELINE, WA 98155
P: 253.656.1650
E: TODD.BEALS@DAVEY.COM

SURVEYOR: TERRANE
EDWIN GREEN
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
P: 425.458.4488
E: EDWIN@TERRANE.NET

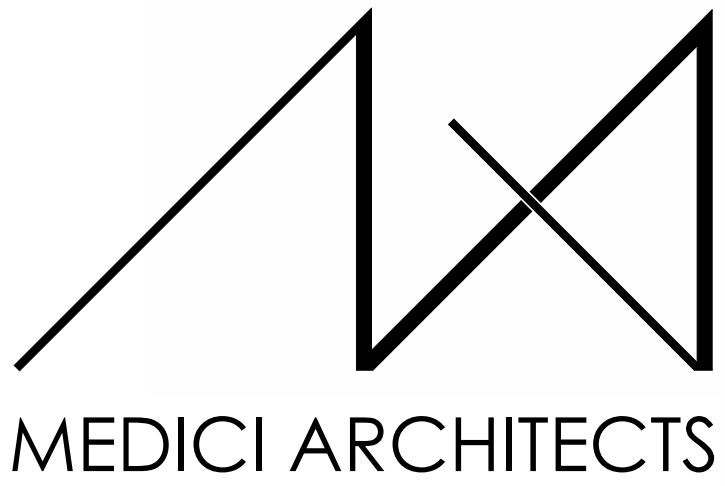
GEOTECH: EARTH SOLUTIONS NW, LLC
SCOTT RIEGEL
15365 NE 9TH ST, SUITE 100
REDMOND, WA 98052
P: 425.449.4704
E: SCOTTR@ESNW.COM



VICINITY MAP
NTS



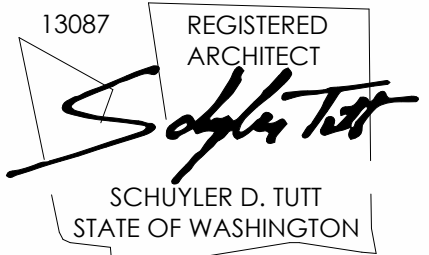
QUARTER SECTION MAP
NTS



11711 SE 8TH STREET SUITE 100
BELLEVUE, WA 98005
TEL: (425) 453-9298

200 W. RIVER ST. SUITE 301
KETCHUM, ID 83340
TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
|------------|-------|
| | |
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| | |
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| | |
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| | |
| | |
| | |

PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

TITLE SHEET

DRAWN BY: DRA
CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087

DATE: 10/30/2023

A0.0

PLOT SCALE: 1:1

ABBREVIATIONS

| | | | |
|-------|----------------------------|-------|-------------------------|
| AFF | ABOVE FINISH FLOOR | PICT | PICTURE |
| A/C | AIR CONDITIONING | PLAM | PLASTIC LAMINATE |
| AHU | AIR HANDLING UNIT | PSF | POUNDS PER SQUARE FOOT |
| ALT | ALTERNATE | PSI | POUNDS PER SQUARE INCH |
| ALUM | ALUMINUM | PL | PROPERTY LINE |
| ANOD | ANODIZED | PNA | PROTECTED NATURAL AREA |
| BSMT | BASEMENT | QTY | QUANTITY |
| BLK | BLOCK | REF | REFRIGERATOR |
| BS | BOTH SIDES | REQ'D | REQUIRED |
| BLDG | BUILDING | REV | REVISION |
| CAB | CABINET | R | RISER |
| CB | CATCH BASIN | RM | ROOM |
| CLG | CEILING | RO | ROUGH OPENING |
| CLR | CLEAR | SG | SAFETY GLASS |
| CL | CLOSET | SH | SIMILAR |
| CONC | CONCRETE | SH | SINGLE HUNG |
| CMU | CONCRETE MASONRY UNIT | SOG | SLAB ON GRADE |
| CONT | CONTINUOUS | SPEC | SPECIFICATION |
| CJ | CONTROL JOINT | SQ | SQUARE FOOT |
| CPT | CARPET | SS | STAINLESS STEEL |
| CSMT | CASEMENT | STD | STANDARD |
| CF | CUBIC FOOT | STL | STEEL |
| DIA | DIAMETER | STOR | STORAGE |
| DBH | DIAMETER BREAST HEIGHT | SD | STORM DRAIN |
| DIM | DIMENSION | SUP | SUPPLEMENTAL |
| DW | DISHWASHER | TV | TELEVISION |
| DH | DOUBLE HUNG | TEMP | TEMPORARY |
| DN | DOWN | TP | TOILET PAPER DISPENSER |
| DS | DOWNSPOUT | T&G | TONGUE & GROOVE |
| D | DRYER | TO | TOP OF |
| EA | EACH | TOW | TOP OF WALL |
| ELEC | ELECTRICAL PANEL | TB | TOWEL BAR |
| EP | ELECTRICAL PANEL | T | TREAD |
| ELEV | ELEVATOR | TPZ | TREE PROTECTION ZONE |
| EQ | EQUAL | TYP | TYPICAL |
| EXT | EXTERIOR | UNO | UNLESS NOTED OTHERWISE |
| EXIST | EXISTING | VB | VAPOR BARRIER |
| FFE | FINISH FLOOR ELEVATION | VTOS | VENT TO OUTSIDE |
| FRD | FIRE RATE DOOR | VIF | VERIFY IN FIELD |
| FRW | FIRE RATE WINDOW | VERT | VERTICAL |
| FXD | FIXED | VC | VERTICAL GRAIN |
| FIXT | FIXTURE | WC | WATER CLOSET |
| FAR | FLOOR AREA RATIO | WH | WATER HEATER |
| FTG | FOOTING | WRB | WATER RESISTANT BARRIER |
| FAU | FORCED AIR UNIT | W | WASHER |
| FDN | FOUNDATION | WHF | WHOLE HOUSE FAN |
| FURN | FURNACE | WIN | WINDOW |
| GFA | GROSS FLOOR AREA | W/ | WITH |
| HDWD | HARDWOOD | W/O | WITHOUT |
| HDR | HEADER | WP | WATER PROOFING |
| HVAC | HEATING, VENTILATION & A/C | YD | YARD |
| HT | HEIGHT | | |
| HORZ | HORIZONTAL | | |
| HR | HOUR | | |
| INCL | INCLUDE (ED/ING) | | |
| INT | INTERIOR | | |
| LED | LIGHT EMITTING DIODE | | |
| LOD | LIMIT OF DISTURBANCE | | |
| LF | LINEAR FEET | | |
| MANUF | MANUFACTURER | | |
| MAX | MAXIMUM | | |
| MECH | MECHANICAL | | |
| MED | MEDIUM | | |
| MIN | MINIMUM | | |
| MISC | MISCELLANEOUS | | |
| NIC | NOT IN CONTRACT | | |
| NTS | NOT TO SCALE | | |
| NO | NUMBER | | |
| OC | ON CENTER | | |
| PERF | PERFORATED | | |

SYMBOL LEGEND

| | | | |
|--|--|--|---|
| | GRID LINES | | EXISTING WALL |
| | PROJECT BASE POINT | | EXISTING WALL TO DEMO |
| | REFERENCE ELEVATION POINT | | 2X WALLS |
| | PROPERTY CORNER | | FOUNDATION WALL |
| | PROPERTY LINE | | CONCRETE SURFACE |
| | CENTER LINE | | CAST IN PLACE CONCRETE |
| | TOP OF WALL ELEVATION | | STRUCTURAL POST - SIZE AND TYPE PER STRUCTURAL PLAN |
| | PROPERTY LINE TAG | | GAS OUTLET |
| | SECTIONS FOUND ON SHEET A101 | | GAS METER |
| | DETAIL SECTION FOUND ON SHEET A101 | | HOSE BIB |
| | INTERIOR ELEVATION FOUND ON SHEET A1.0 | | DOWNSPOUT |
| | EXIT | | METER |
| | EXIT DIRECTION | | ELECTRICAL PANEL |
| | SMOKE DETECTOR | | UNDISTURBED EARTH |
| | SMOKE & CARBON MONOXIDE DETECTOR | | COMPACTED FILL |
| | DOOR TAG NUMBER | | GRAVEL |
| | DOOR SIZE | | RIGID OR SPRAY INSULATION |
| | WINDOWS TAG NUMBER | | BIBS BLOWN-IN INSULATION |
| | DRAWING REVISION | | STONE |
| | WALL TAG ASSEMBLY | | BATT INSULATION |
| | WHOLE HOUSE FAN CONTROL | | EXHAUST FAN |
| | | | VENT TO OUTSIDE |
| | | | WATER METER |
| | | | STEP DOWN / ELEVATION CHANGE |
| | | | KEY NOTES |

ENERGY CODE COMPLIANCE

| | |
|--|--|
| CONDITIONED FLOOR AREA | |
| BASEMENT: | 994.0 SF |
| 1ST FLOOR: | 1561.5 SF |
| 2ND FLOOR: | 2007.8 SF |
| TOTAL: | 4563.3 SF < 5000 SF "MEDIUM DWELLING UNIT" |
| GENERAL PRESCRIPTIVE METHOD: SEE SHEETS A0.3 & A5.0 | |
| FUEL NORMALIZATION CREDITS PER TABLE R406.2 SYSTEM TYPE 2 1.0 CREDITS | |
| -HEAT PUMP MEETING FEDERAL STANDARDS PER C403.3.2(1)C OR C403.3.2(2) | |
| ENERGY CREDITS PER TABLE R406.3 OPTION 1.3 BUILDING ENVELOPE 0.5 | |
| -VERTICAL FENESTRATION U=0.28 | |
| -WALL R-21int | |
| -FLOOR R-38 | |
| -SLAB ON GRADE R-10 @ PERIMETER AND UNDER ENTIRE SLAB | |
| OPTION 2.3 AIR LEAKAGE CONTROL 1.5 | |
| -AIR LEAKAGE TO MAX 1.5 AIR CHANGES PER HOUR | |
| -WHOLE HOUSE VENTILATION REQ'S MET WITH HRV W/ MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.75 | |
| OPTION 3.6 HIGH EFF. HVAC EQUIPMENT 2.0 | |
| -DUCTLESS SPLIT SYSTEM W/ NO ELECTRIC RESISTANCE HEATING IN PRIMARY LIVING. | |
| -HEAT PUMP WITH MIN HSPF OF 10.0 | |
| OPTION 5.3 EFFICIENT WATER HEATING 1.0 | |
| -ENERGY STAR RATED GAS WATER HEATER WITH MIN. UEF OF 0.91. | |
| TOTAL CREDITS REQUIRED | 6.0 |
| TOTAL CREDITS PROPOSED | 6.0 |

OTHER PERMITS

ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE TO BE OBTAINED SEPARATELY.

SEPARATE FIRE SPRINKLER PERMIT TO BE OBTAINED.

CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF MERCER ISLAND.

- 2018 WASHINGTON STATE BUILDING CODE (IBC)
- 2018 WASHINGTON STATE EXISTING BUILDING CODE (IEBC)
- 2018 WASHINGTON STATE RESIDENTIAL CODE (IRC)
- 2018 WASHINGTON STATE MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL FUEL GAS CODE (NATURAL GAS) (IFGC)
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPSA)
- 2018 UNIFORM PLUMBING CODE (UPC)
- 2018 WASHINGTON STATE ENERGY CODE - COMMERCIAL PROVISIONS (WSEC - COMMERCIAL)
- 2018 WASHINGTON STATE ENERGY CODE - RESIDENTIAL PROVISIONS (WSEC - RESIDENTIAL)
- 2018 WASHINGTON STATE FIRE CODE (IFC)
- 2017 WASHINGTON CITIES ELECTRICAL CODE (2017 WCEC WITH 2020 NEC UPDATES)

DEFERRED SUBMITTAL

DESIGN DOCUMENTS FOR THE FOLLOWING ITEMS SHALL BE DEFERRED, PER IBC 107.3.4.1. THESE ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTALS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

- *HANDRAILS
- *GUARDRAILS

THE DEFERRED SUBMITTAL DESIGN DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO SUBMITTING TO THE BUILDING OFFICIAL.

FIRE SPRINKLERS

AUTOMATIC SPRINKLERS PROVIDED: 13D SPRINKLER SYSTEM TO BE PROVIDED

INDEX OF DRAWINGS

| | |
|--------|-----------------------|
| A0.0 | TITLE SHEET & SYMBOLS |
| 1 OF 2 | SURVEY |
| 2 OF 2 | SURVEY |

ARCHITECTURAL SHEET INDEX

| | |
|------|-------------------------------------|
| A0.1 | SITE PLAN |
| A0.2 | LOT COVERAGE DIAGRAM (IF NECESSARY) |
| A0.3 | GENERAL NOTES |
| A0.4 | SCHEDULES |
| A1.0 | FOUNDATION PLAN |
| A2.0 | BASEMENT PLAN |
| A2.1 | 1ST FLOOR PLAN |
| A2.2 | 2ND FLOOR PLAN |
| A3.0 | ROOF PLAN |
| A4.0 | ELEVATIONS |
| A4.1 | ELEVATIONS |
| A4.2 | ELEVATIONS |
| A4.3 | ELEVATIONS |
| A4.4 | PERSPECTIVES |
| A5.0 | SECTIONS |
| A5.1 | SECTIONS |
| A6.0 | DETAILS - ENVELOPE |
| A6.1 | DETAILS - FOUNDATION |
| A6.2 | DETAILS - FOUNDATION |
| A6.3 | DETAILS - INTERIOR |
| A6.4 | DETAILS - SIDING |
| A6.5 | DETAILS - SIDING |
| A6.6 | DETAILS - SIDING |
| A6.7 | DETAILS - FLASHING |

STRUCTURAL SHEET INDEX

| | |
|--------|--------------------------|
| S-0.0 | STRUCTURAL NOTES |
| S-1.0 | FOUNDATION PLAN |
| S-1.1 | MAIN FLOOR FRAMING PLAN |
| S-2.0 | UPPER FLOOR FRAMING PLAN |
| S-3.0 | ROOF FRAMING PLAN |
| SD-1 | FOUNDATION DETAILS |
| SD-1.1 | FOUNDATION DETAILS |
| SD-2 | STRUCTURAL DETAILS |
| SD-3 | STRUCTURAL DETAILS |

CIVIL SHEET INDEX

| | |
|----|-------------------------------|
| C1 | COVER SHEET AND T.E.S.C. PLAN |
| C2 | TESC NOTES & DETAILS |
| C3 | TREE RETENTION PLAN |
| C4 | TREE RETENTION PLAN |
| C5 | GRADING AND UTILITIES PLAN |
| C6 | NOTES AND DETAILS |

ALTA/ACSM LAND TITLE SURVEY

measure success

LEGAL DESCRIPTION

PARCEL A:
THE EAST 60 FEET OF LOT 1; LOTS 2 AND 3, EXCEPT THE WEST 110 FEET THEREOF; AND THE NORTH 40 FEET OF LOT 4, EXCEPT THE WEST 110 FEET THEREOF, ALL IN BLOCK 6, MCGILVRAS ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE(S) 58, IN KING COUNTY, WASHINGTON.

PARCEL B:
THE WEST 110 FEET OF LOT 3 AND LOTS 4 AND 5, BLOCK 6, MCGILVRAS ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE(S) 56, IN KING COUNTY, WASHINGTON; EXCEPT THE NORTH 87.67 FEET OF LOT 3; AND EXCEPT THE NORTH 40 FEET OF LOT 4, EXCEPT THE WEST 110 FEET THEREOF; AND EXCEPT THE WEST 110 FEET OF THE SOUTH 175 FEET THEREOF OF LOTS 4 AND 5.

PARCEL C:
THE SOUTH 72.72 FEET OF THE NORTH 87.67 FEET OF THE WEST 110 FEET OF LOT 3, BLOCK 6, MCGILVRAS ISLAND ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE(S) 56, IN KING COUNTY, WASHINGTON.

SURVEYOR'S NOTES

- THE SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2014. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
- BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. GEODIMENSIONS ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
- SUBJECT PROPERTY TAX PARCEL NO.'S 531510-0455, 531510-0457 & 531510-0458
- GROSS SUBJECT PROPERTY AREA PER THIS SURVEY IS 136,806± S.F. (3.14± ACRES)
PARCEL 531510-0455= 67,897 SQ FT +/- (1.56 ACRE)
PARCEL 531510-0457= 60,910 SQ FT +/- (1.40 ACRE)
PARCEL 531510-0458= 7,999 SQ FT +/- (0.18 ACRE)
- INSTRUMENTATION FOR THIS SURVEY WAS A TRIMBLE ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES, NO CORRECTION NECESSARY. MEETS STATE STANDARDS SET BY WAC 332-130-090.
- THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED CHICAGO TITLE INSURANCE COMPANY NAME, COMMITMENT NO. 0019926-06 WITH AN EFFECTIVE DATE OF AUGUST 18, 2014 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X, PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 53033C0IND0, WITH A DATE OF IDENTIFICATION, DECEMBER 6, 2001, IN KING COUNTY, STATE OF WASHINGTON, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.
- ZONING CLASSIFICATION: MF-2 & MF-3
MAXIMUM BUILDING HEIGHT: FOR CARE SERVICES = 36 FEET OR 3 STORIES, WHICHEVER IS LESS
NOTE-APPURTENANCES MAY EXTEND TO A MAX 5 FEET ABOVE PARKING REQUIREMENT: FOR RESIDENTIAL CARE FACILITIES = 1 SPACE FOR EVERY 4 BEDS
SETBACK REQUIREMENTS:
FRONT - 20'
REAR - 25'
SIDE - 20' (MAY BE REDUCED TO 10' WHEN ADJACENT TO MF, B, CO, PBZ OR TC ZONES)
NOTE: THE ABOVE ZONING INFORMATION IS PER CITY OF SEATTLE MUNICIPAL CODE, CHAPTER 23.50.032 & 23.54.015 IT WAS NOT PROVIDED BY THE INSURER AS IS REQUIRED BY THE 2011 ALTA/ACSM STANDARDS FOR ALTA SURVEYS.
- THE PROPERTY HAS DIRECT ACCESS TO SE 24TH STREET, A DEDICATED PUBLIC STREET AND 74TH AVE SE, A DEDICATED PUBLIC STREET.
- THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 37, INCLUDING 2 DESIGNATED HANDICAP SPACE, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE PROPERTY.
- THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

SURVEYOR'S CERTIFICATE

TO: AEGIS SENIOR COMMUNITIES LLC, A WASHINGTON LIMITED LIABILITY COMPANY AND CHICAGO TITLE INSURANCE COMPANY NAME;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 6(B) [6(B) ZONING INFORMATION WAS NOT PROVIDED BY INSURED], 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, 16 & 18 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 29, 2014.

Edwin S. Green Jr.
EDWIN S. GREEN JR. PLS# 15025

11/3/2014
DATE

SPECIAL EXCEPTIONS - SCHEDULE B

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: MERCER ISLAND SEWER DISTRICT PURPOSE: INSTALLING, CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING AND REPLACING A SEWER PIPELINE OR PIPELINES AND ALL NECESSARY OR CONNECTIONS AND APPURTENANCES RECORDING DATE: JANUARY 18, 1956 RECORDING NO.: 4655731 AFFECTS: PORTIONS OF PARCELS A AND B "PLOTTED"
- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: MERCER ISLAND SEWER DISTRICT PURPOSE: INSTALLING, CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING AND REPLACING A SEWER PIPELINE OR PIPELINES AND ALL NECESSARY OR CONNECTIONS AND APPURTENANCES RECORDING DATE: JANUARY 18, 1956 RECORDING NO.: 4655732 AFFECTS: PORTION OF PARCEL A "PLOTTED"

SAID EASEMENT HAS BEEN MODIFIED BY AMENDMENTS THERETO RECORDED UNDER RECORDING NOS. 5581325 AND 5593899.

- SIDE SEWER EASEMENT RECORDING DATE: FEBRUARY 10, 1959 RECORDING NO.: 4995706 WIDTH: 4 FEET AFFECTS: AN UNDISCLOSED PORTION OF PARCEL C AND OTHER PROPERTY, ALONG THE LINE "AS CONSTRUCTED"

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: PUBLIC ACCESS FOR DRIVEWAY AND ROADWAY RECORDING DATE: APRIL 10, 1963 RECORDING NO.: 5568194 AFFECTS: AN EASTERLY PORTION OF PARCEL A "PLOTTED"

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: PURPOSE: ACCESS FOR UTILITIES INCLUDING POWER, LIGHT, GAS, WATER, SEWER AND TELEPHONE RECORDING DATE: JUNE 26, 1963 RECORDING NO.: 5601958 AFFECTS: A NORTHERLY PORTION OF PARCEL B "AS CONSTRUCTED"

- LETTER OF AGREEMENT BETWEEN: MERCER ISLAND VILLA CARE CENTER AND: VIACOM CABLEVISION RECORDING DATE: MARCH 26, 1982 RECORDING NO.: 8203260501 REGARDING: THE EXCLUSIVE RIGHT TO INSTALL, OWN, OPERATE AND MAINTAIN A COMMUNITY ANTENNA TELEVISION SYSTEM AFFECTS: PARCEL A "BLANKET IN NATURE"

- MDU SERVICE AGREEMENT BETWEEN: MERCER ISLAND CARE CENTER AND: TELE-VUE SYSTEMS, INC. RECORDING DATE: MARCH 31, 2000 RECORDING NO.: 20000331000027 REGARDING: CABLE TELEVISION SYSTEM AFFECTS: PARCEL A "BLANKET IN NATURE"

- EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: COMCAST OF CALIFORNIA COLORADO TEXAS WASHINGTON, PURPOSE: CABLE COMMUNICATIONS SERVICES RECORDING DATE: MAY 18, 2010 RECORDING NO.: 20100518001248 AFFECTS: THE DESCRIPTION CONTAINED THEREIN IS NOT SUFFICIENT TO DETERMINE ITS EXACT LOCATION WITHIN THE PROPERTY AFFECTS: PARCEL A "BLANKET IN NATURE"

- ACCESS EASEMENT AGREEMENT BETWEEN: SECOND GENERATION PARTNERS LLC AND: HYNES PROPERTIES LLC AND: BRE PROPERTIES, INC., A MARYLAND CORPORATION RECORDING DATE: OCTOBER 7, 2010 RECORDING NO.: 20101007000103 "PLOTTED"

- ACCESS EASEMENT AGREEMENT BETWEEN: HYNES PROPERTIES LLC, AND: BRE PROPERTIES, INC., A MARYLAND CORPORATION AND: SECOND GENERATION PARTNERS LLC, RECORDING DATE: OCTOBER 7, 2010 RECORDING NO.: 20101007000104 "PLOTTED"

- TEMPORARY CRANE BOOM EASEMENT AGREEMENT BETWEEN: SECOND GENERATION PARTNERS LLC, AND: HYNES PROPERTIES LLC, AND: BRE PROPERTIES, INC., A MARYLAND CORPORATION RECORDING DATE: OCTOBER 7, 2010 RECORDING NO.: 20101007000105 "PLOTTED"

- TEMPORARY CRANE BOOM EASEMENT AGREEMENT BETWEEN: HYNES PROPERTIES LLC, AND: BRE PROPERTIES, INC., A MARYLAND CORPORATION RECORDING DATE: OCTOBER 7, 2010 RECORDING NO.: 20101007000106 "PLOTTED"

- MAINTENANCE AND CONSTRUCTION EASEMENT AGREEMENT BETWEEN: HYNES PROPERTIES LLC, AND: BRE PROPERTIES, INC., A MARYLAND CORPORATION RECORDING DATE: OCTOBER 7, 2010 RECORDING NO.: 20101007000107 "AS CONSTRUCTED"

- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDING DATE: NOVEMBER 21, 1960 RECORDING NO.: 5225329 AFFECTS: A PORTION OF PARCEL A "BLANKET IN NATURE"

SPECIAL EXCEPTIONS-CONT'D

- COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDING DATE: APRIL 4, 1967 RECORDING NO.: 6158024 AFFECTS: PORTIONS OF PARCELS A AND B "BLANKET IN NATURE"

- AGREEMENT INCLUDING THE TERMS, CONDITIONS, PROVISIONS AND RESTRICTIONS CONTAINED THEREIN BETWEEN: TEN-TWENTY CORPORATION, MERCER VIEW CONVALESCENT HOSPITAL, INC., AND KYRAN E. HYNES AND CHRISTINE E. HYNES AND: ERIK H. ERIKSON AND WIFE, W. H. SEELYE AND WIFE AND ROBERT H. CLARK AND WIFE RECORDING DATE: APRIL 10, 1962 RECORDING NO.: 5410645 "BLANKET IN NATURE"

ENCROACHMENTS

- WOOD FENCE ON NORTH LINE OF PARCEL C, AS NOTED.
- FENCE ALONG SOUTH LINE OF PARCEL B, AS NOTED.

BASIS OF BEARINGS

CENTERLINE OF SE 24TH STREET BEARS N 89°35'08" W BETWEEN MONUMENTS FOUND.

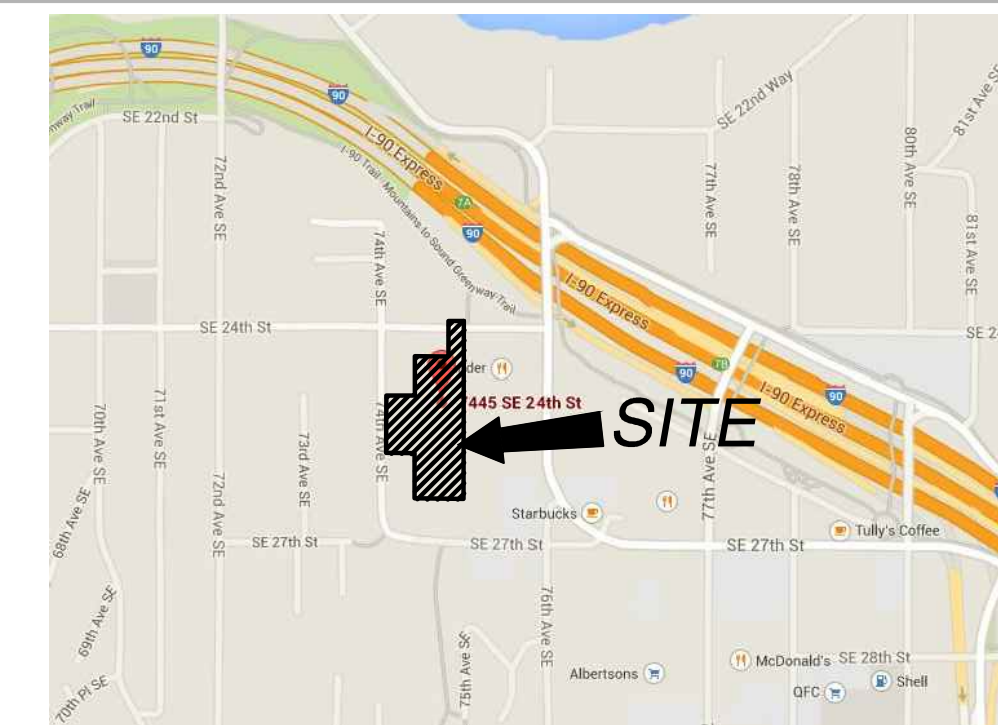
VERTICAL DATUM

NAVD 88 PER PER CITY OF MERCER ISLAND BENCHMARK #7126 3/8" COPPER PLUG W/PUNCH IN CONC MON, DN 1.3', LOCATED 6' S. OF INTX SE 24TH ST & 74TH AVE SE, ELEV=155.20'

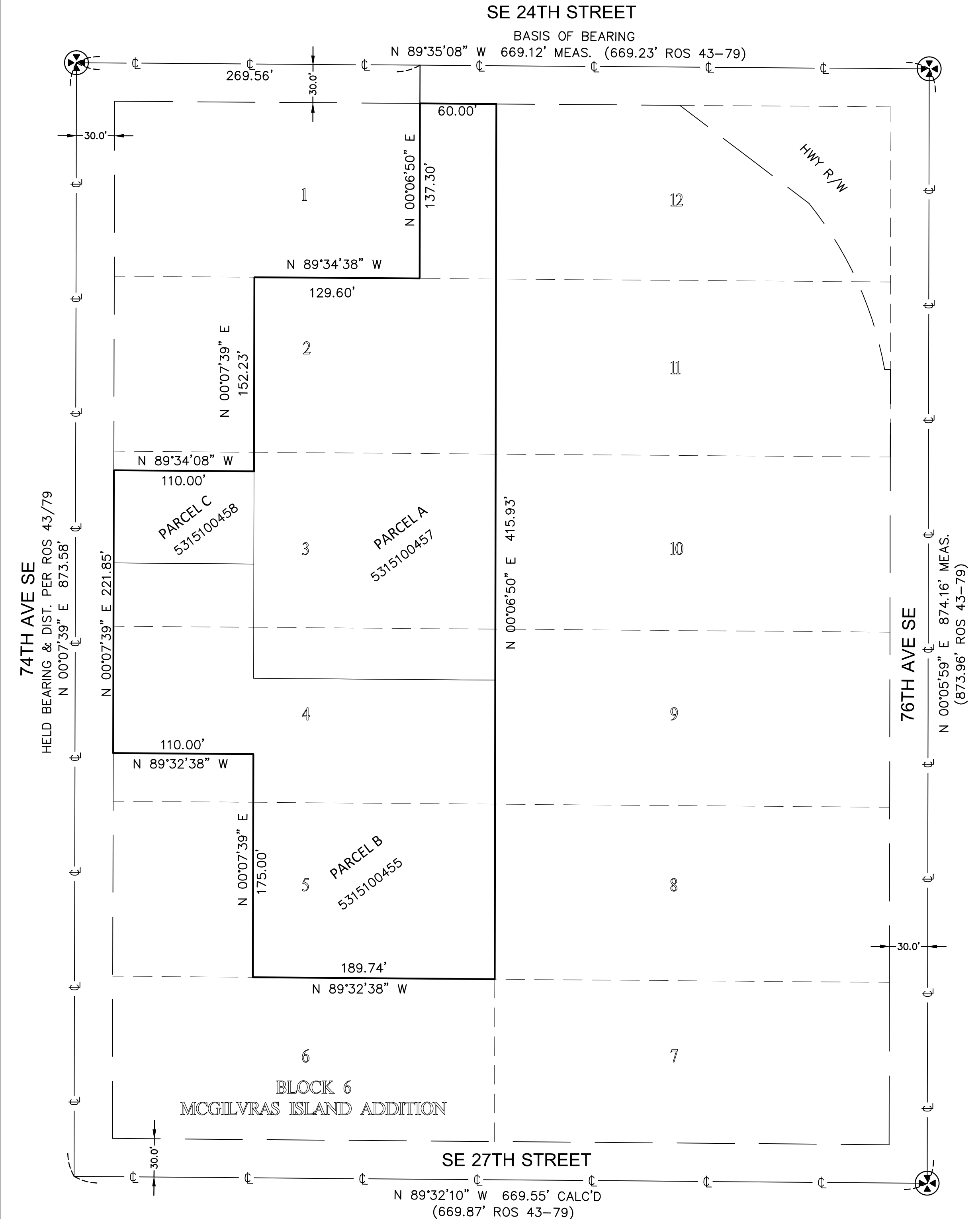
REFERENCES

RECORD OF SURVEY VOLUME 43, PAGE 79, RECORDS OF KING COUNTY, WASHINGTON.

VICINITY MAP

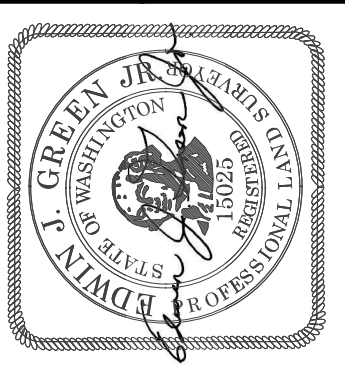


CONTROL MAP
SCALE: 1" = 60'



ALTA/ACSM LAND TITLE SURVEY
NE 1/4 OF THE NW 1/4 OF SEC. 12, TWP. 24N., RGE. 4E., W.M.
TAX PARCEL NO. 531510-0455, 531510-0457 & 531510-0458

AEGIS SENIOR COMMUNITIES
7445 SE 24TH STREET
MERCER ISLAND, WA

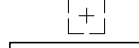

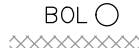


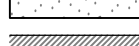

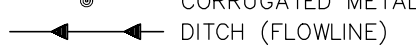

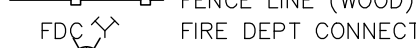






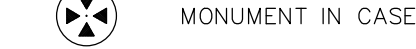

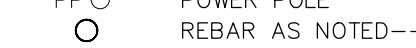





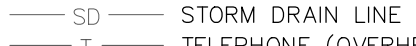

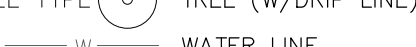
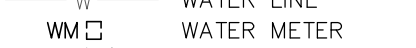


















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phone 425-458-4488 support@geodimensions.net www.geodimensions.net

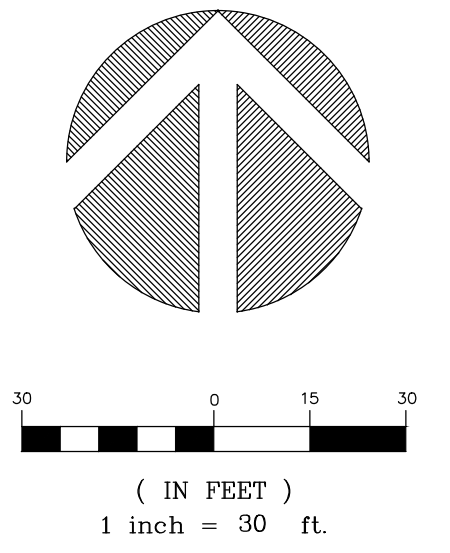
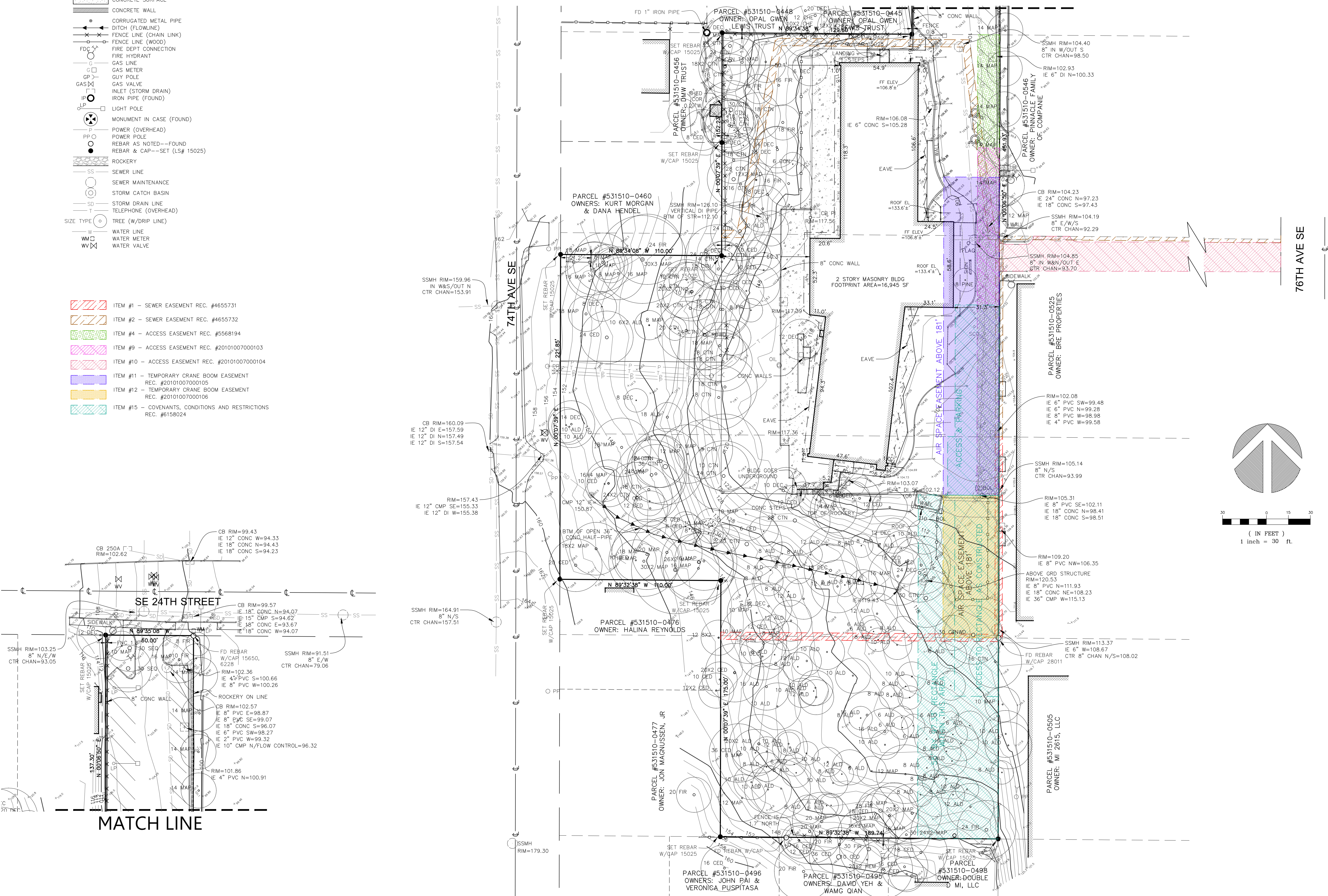
| | |
|------------------|---------------|
| JOB NUMBER: | 140548 |
| DATE: | 1/26/15 |
| DRAFTED BY: | TLR |
| CHECKED BY: | EJG/JGM |
| SCALE: | 1" = 60' |
| REVISION HISTORY | |
| 1/26/15 | CHANGED TITLE |
| | |
| | |
| SHEET NUMBER | |
| 1 OF 2 | |

LEGAL DESCRIPTION

ALTA/ACSM LAND TITLE SURVEY

-  AREA DRAIN
-  ASPHALT SURFACE
-  BOLLARD
-  BUILDING
-  CENTERLINE ROW
-  CLEANOUT
-  CONCRETE SURFACE
-  CONCRETE WALL
-  CORRUGATED METAL PIPE
-  DITCH (FLOWLINE)
-  FENCE LINE (CHAIN LINK)
-  FENCE LINE (WOOD)
-  FIRE DEPT CONNECTION
-  FIRE HYDRANT
-  GAS LINE
-  GAS METER
-  GUY POLE
-  GAS VALVE
-  INLET (STORM DRAIN)
-  IRON PIPE (FOUND)
-  LIGHT POLE
-  MONUMENT IN CASE (FOUND)
-  POWER (OVERHEAD)
-  POWER POLE
-  REBAR AS NOTED--FOUND
-  REBAR & CAP--SET (LS# 15025)
-  ROCKERY
-  SEWER LINE
-  SEWER MAINTENANCE
-  STORM CATCH BASIN
-  STORM DRAIN LINE
-  TELEPHONE (OVERHEAD)
-  TREE (W/DROP LINE)
-  WATER LINE
-  WATER METER
-  WATER VALVE


-  ITEM #1 - SEWER EASEMENT REC. #4655731
-  ITEM #2 - SEWER EASEMENT REC. #4655732
-  ITEM #4 - ACCESS EASEMENT REC. #5568194
-  ITEM #9 - ACCESS EASEMENT REC. #20101007000103
-  ITEM #10 - ACCESS EASEMENT REC. #20101007000104
-  ITEM #11 - TEMPORARY CRANE BOOM EASEMENT REC. #20101007000105
-  ITEM #12 - TEMPORARY CRANE BOOM EASEMENT REC. #20101007000106
-  ITEM #15 - COVENANTS, CONDITIONS AND RESTRICTIONS REC. #6158024



measure success

ALTA/ACSM LAND TITLE SURVEY
NE 1/4 OF THE NW 1/4 OF SEC. 12, TWP. 24N., RGE. 4E., W.M.
TAX PARCEL NO. 531510-0455, 531510-0457 & 531510-0458

AGIS SENIOR COMMUNITIES
7445 SE 24TH STREET
MERCER ISLAND, WA

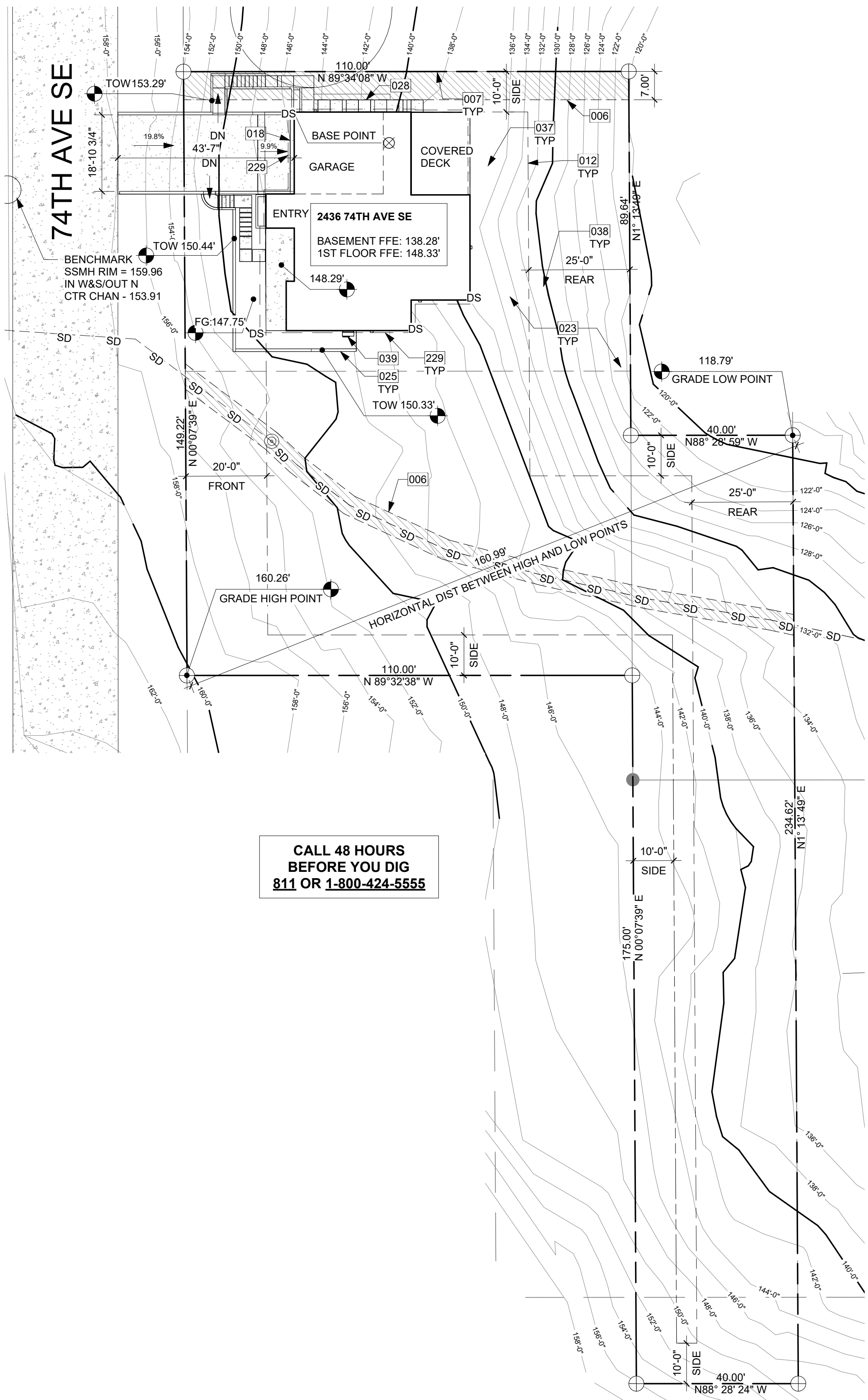


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support@geodimensions.net phone 425-458-4488 www.geodimensions.net

JOB NUMBER: 140548
DATE: 1/26/15
DRAFTED BY: TLR
CHECKED BY: EJG/JGM
SCALE: 1"= 30'

| REVISION HISTORY | |
|------------------|---------------|
| 1/26/15 | CHANGED TITLE |

SHEET NUMBER
2 OF 2



CALL 48 HOURS BEFORE YOU DIG
811 OR 1-800-424-5555

SITE PLAN 1
1" = 20'-0"

KEY NOTES

| | |
|-----|---|
| 006 | EXISTING EASEMENT LINE |
| 007 | EXISTING PROPERTY LINE |
| 012 | SETBACK LINE |
| 018 | TRENCH DRAIN: SEE DETAILS AND CIVIL |
| 023 | SITE DRAINAGE AWAY FROM HOME PER IRC SECTION 401.3. SEE CIVIL DRAWINGS FOR FOUNDATION DRAINAGE SPECIFICATIONS. |
| 025 | RETAINING WALL PER STRUCTURAL. 36" TALL GUARDS CONFORMING TO SECTION R312 SHALL BE PROVIDED WHERE ADJACENT TO WALKING SURFACE AND RETAINED EARTH IS >30". |
| 028 | HARDSCAPE STEPS DRAWN DIAGRAMMATICALLY; TO FOLLOW SITE CONTOURS. |
| 037 | DASHED LINE OF TREES TO BE REMOVED, TYP. |
| 038 | DRIPLINE OF TREES TO BE RETAINED ON SITE, TYP. |
| 039 | WALL HUNG HEAT PUMP WITH MINIMUM HSPF OF 10.0, SEE GENERAL NOTES SHEET A0.4 FOR BTU OUTPUT. |
| 229 | LONG DASHED LINE OF ROOF ABOVE. |

ZONING REQUIREMENTS

JURISDICTION: CITY OF MERCER ISLAND
 ZONING: R-9.6 SINGLE FAMILY
 PARCEL ASSESSOR'S #: 5315100455
 LOT SIZE: 25789 SF = 0.59 ACRE

LEGAL DESCRIPTION:

MC GILVRAS ISLAND ADD PCL B MERCER ISLAND LLR# SUB
 14-011 REC#20150528900006 SD LLR BEING POR LOTS 1 THRU 5
 SD BLK 6
 Plat Block: 6
 Plat Lot: 3-4-5

MAXIMUMS:

MAX. FAR: 40%
 MAX. LOT COVERAGE: 35% (9026.15 SF)
 MAX. HEIGHT: 30' ABOVE ABE

SETBACKS:

REQUIRED FRONT: MIN. 20' PROVIDED: 20'
 REQUIRED SIDE: MIN. 5'/5' PROVIDED: 10'/10'
 REQUIRED REAR: MIN. 25' PROVIDED: 25'

G.F.A. CALCULATION

LOT SIZE 25789 SF
 G.F.A. IN ZONE R-9.6 = 40% 10315.6 SF

BASEMENT FLOOR 1285.9 SF
 EXEMPT (SEE BASEMENT FLOOR AREA CALCULATION) -752.25 SF

1ST FLOOR 1561.46 SF
 2ND FLOOR 2007.81 SF
 ATTACHED GARAGE 459.46 SF

TOTAL: 4562.38 SF
 PERCENT: 17.69%

LOT COVERAGE CALCULATION

LOT SIZE 25789 SF
 MAX HARDSCAPE COVERAGE (9%) 2321.01 SF
 MIN LANDSCAPE REQUIREMENT (70%) 18052.3 SF
 MAXIMUM PAVEMENT COVERAGE (9%) 2321.01 SF
 ALLOWABLE LOT COVERAGE (35%) 9026.15 SF

IMPERVIOUS SURFACES ACTUAL AREA 2120.97 SF
 FOOTPRINT INCLUDING EAVES: 520.61 SF
 DRIVEWAY: 304.57 SF
 COVERED DECK: 194.17 SF
 COVERED ENTRY PATIO:

TOTAL IMPERVIOUS AREA: 3140.32 SF

EXEMPTED SURFACES ACTUAL AREA 192.94 SF COUNTED AREA 0.0 SF
 PAVEMENT WALKWAY AND STAIRS < 60" 75.75 SF
 PAVEMENT ENTRY WALKWAY < 60" 0.0 SF

TOTAL EXEMPTED AREA: 268.69 SF 0.0 SF
 TOTAL LOT COVERAGE: 3409.01 SF (5617.14 SF UNDER)
 REMAINING LANDSCAPE AREA: 22379.99 SF (4327.69 SF OVER)

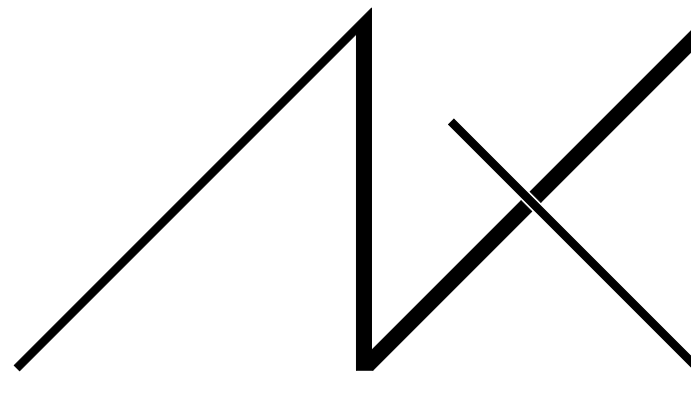
HARDSCAPE SURFACES ACTUAL AREA 192.94 SF
 PAVEMENT WALKWAY AND STAIRS: 75.75 SF
 PAVEMENT ENTRY WALKWAY: 96.01 SF
 RETAINING WALLS*:

TOTAL HARDSCAPE AREA: 364.7 SF 1.41%

*EXEMPT PER 19.02.060 ITEM C.5

SYMBOL LEGEND

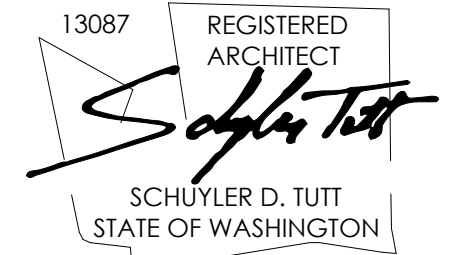
SEE TITLE BLOCK SHEET A0.0 FOR COMPLETE SYMBOL INDEX.



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298
 200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 9/28/2023

REVISIONS: DATE:

| REVISIONS: | DATE: |
|------------|-------|
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PROJECT / CLIENT:

2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:

2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

SITE PLAN

DRAWN BY: DRA

CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087

DATE: 10/30/2023

A0.1

PLOT SCALE: 1:1

BASEMENT FLOOR AREA CALCULATION

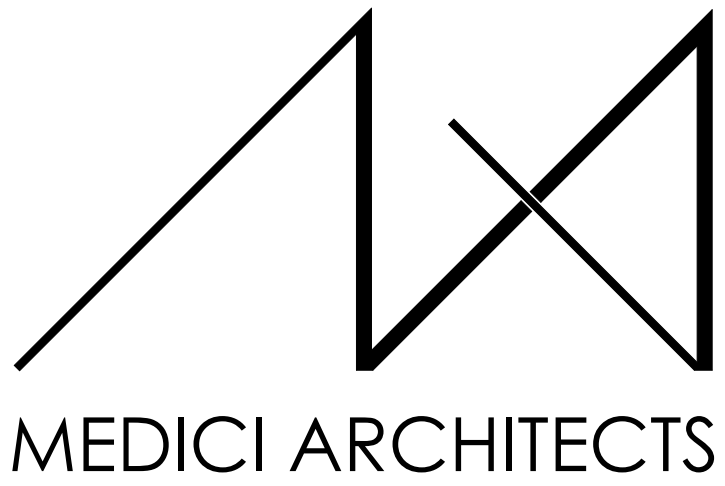
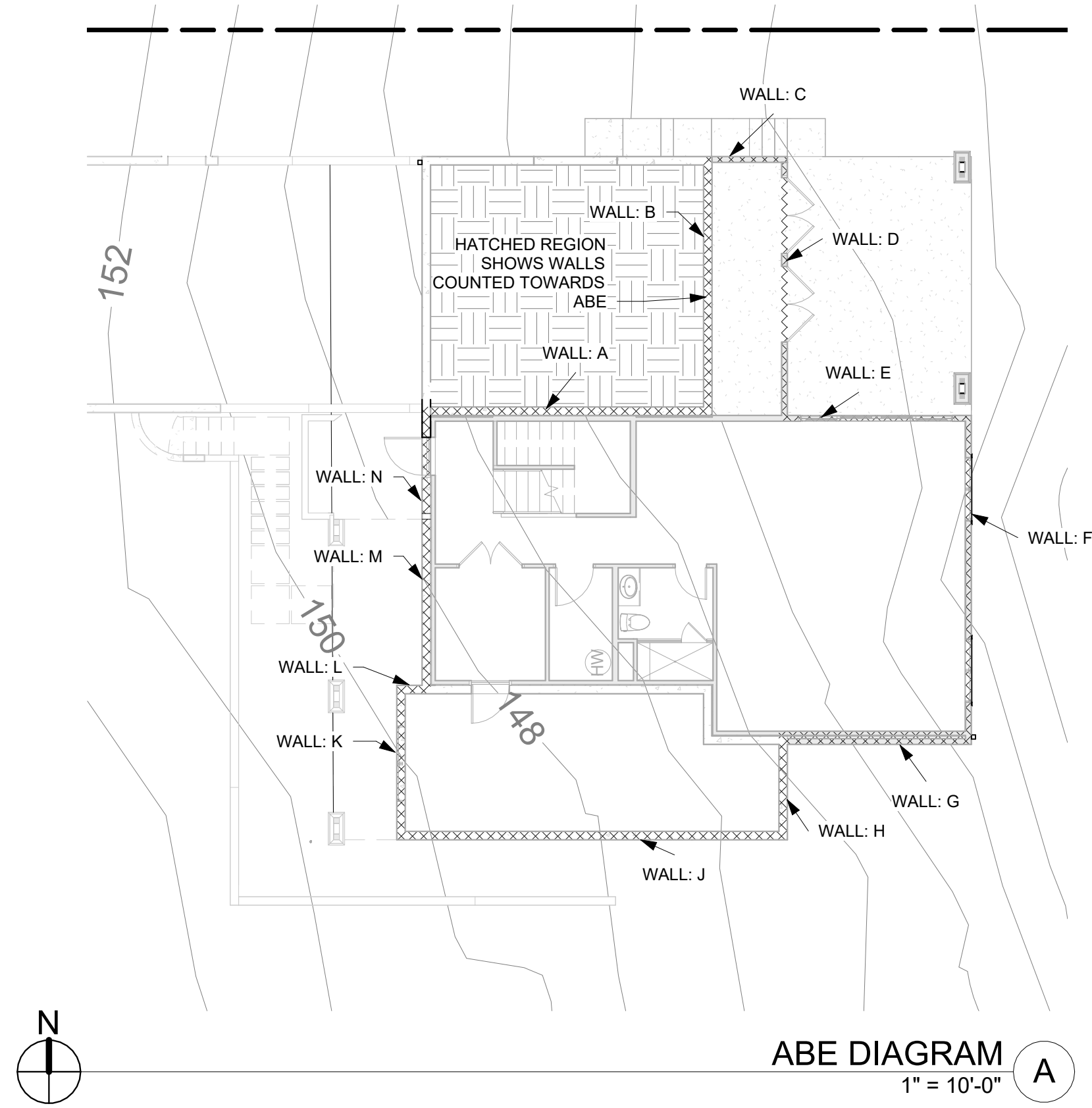
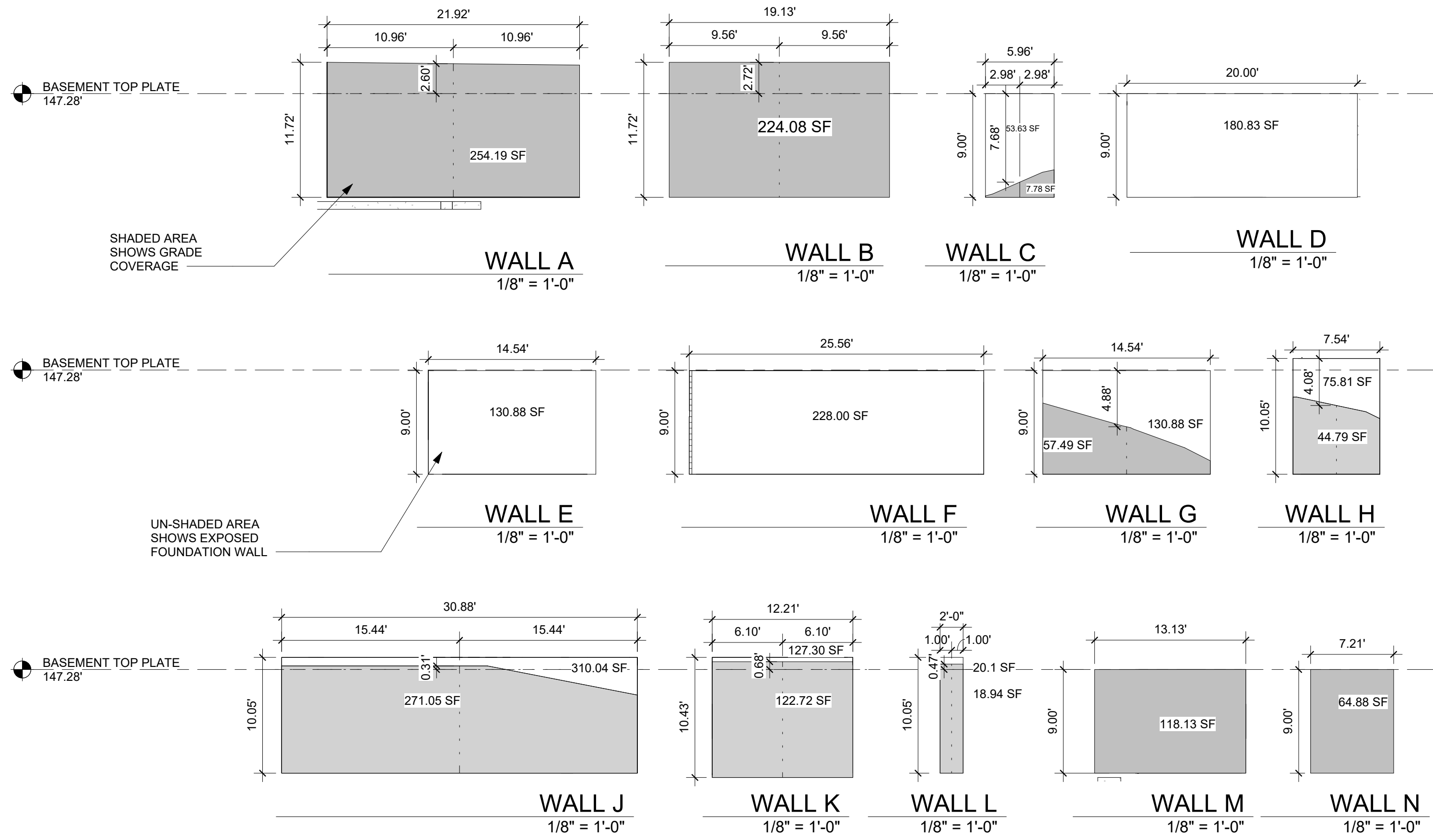
| WALL SEGMENT | LENGTH | | COVERAGE | RESULT |
|--------------|--------|---|----------|--------|
| A | 21.92 | X | 100% | 21.92 |
| B | 19.13 | X | 100% | 19.13 |
| C | 5.96 | X | 14.5% | 0.86 |
| D | 20 | X | 0% | 0 |
| E | 14.54 | X | 0% | 0 |
| F | 25.33 | X | 0% | 0 |
| G | 14.54 | X | 43.9% | 6.38 |
| H | 7.54 | X | 59.1% | 4.45 |
| J | 30.88 | X | 87.4% | 26.99 |
| K | 12.21 | X | 96.4% | 11.77 |
| L | 2 | X | 94.2% | 1.88 |
| M | 13.13 | X | 100% | 13.13 |
| N | 7.21 | X | 100% | 7.21 |
| | 194.39 | | | 113.74 |

TOTAL BASEMENT AREA: 1285.9
 RESULT / TOTAL WALL LENGTH: 58.50%
 EXCLUDED BASEMENT: 752.25

ABE CALCULATION

| WALL SEGMENT | LENGTH | | ELEVATION | PRODUCT |
|--------------|--------|---|-----------|----------|
| A | 21.92 | X | 149.88 | 3285.37 |
| B | 19.13 | X | 150.00 | 2869.5 |
| C | 5.96 | X | 139.60 | 832.02 |
| D | 20 | X | 138.28 | 2765.6 |
| E | 14.54 | X | 138.28 | 2010.59 |
| F | 25.33 | X | 138.28 | 3502.6 |
| G | 14.54 | X | 142.40 | 2070.5 |
| H | 7.54 | X | 143.20 | 1079.73 |
| J | 30.88 | X | 147.59 | 4557.58 |
| K | 12.21 | X | 147.96 | 1806.59 |
| L | 2 | X | 147.75 | 295.5 |
| M | 13.13 | X | 147.28 | 1933.79 |
| N | 7.21 | X | 147.28 | 1061.89 |
| TOTAL | 194.39 | | | 28071.26 |

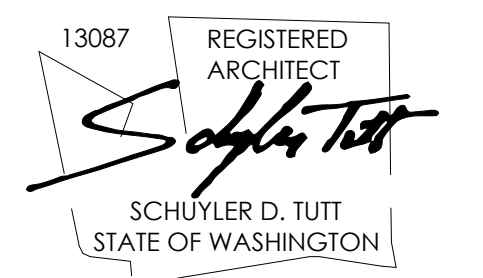
AVERAGE BUILDING ELEV.: 144.41'
 MAX HEIGHT ALLOWED: 30'
 MAX ELEVATION: 174.41'
 PROPOSED TOP OF BUILDING: 173.84'
 AMOUNT BELOW MAX: 0.57'



MEDICI ARCHITECTS

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 200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

ABE DIAGRAMS

DRAWN BY: DRA
 CHECKED BY: JML

PHASE:
 CONSTRUCTION DRAWINGS

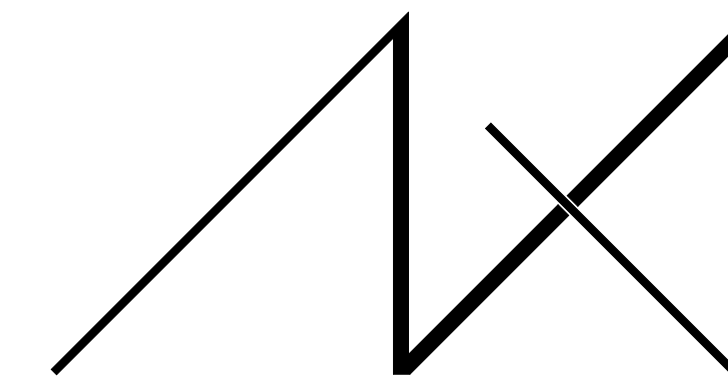
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PROJECT No.: A22 087
 DATE: 10/30/2023

A0.2

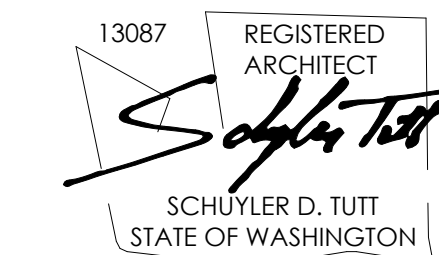
PLOT SCALE: 1:1



MEDICI ARCHITECTS

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 TEL: (425) 453-9298 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 9/28/2023

REVISIONS: DATE:

| REVISIONS: | DATE: |
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PROJECT / CLIENT:

2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:

2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

TREE RETENTION DIAGRAM

DRAWN BY: DRA

CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087

DATE: 10/30/2023

A0.3

PLOT SCALE: 1:1

TREE DENSITY CALCULATION

| TREE NUMBER | EXCEPTIONAL | SPECIES | ACTION | DBH | PRIORITY |
|----------------|-------------|-------------------|--------|-----|----------|
| EXISTING #658 | YES (GROVE) | COTTONWOOD | REMOVE | 22 | 2 |
| EXISTING #659 | N/A | MAPLE BIGLEAF | REMOVE | 18 | 4 |
| EXISTING #660 | YES | WILLOW | REMOVE | 16 | 3 |
| EXISTING #661 | YES | WILLOW | REMOVE | 14 | 3 |
| EXISTING #662 | LARGE | MAPLE BIGLEAF | RETAIN | 21 | 3 |
| EXISTING #663 | YES (GROVE) | COTTONWOOD | RETAIN | 20 | 2 |
| EXISTING #664 | YES (GROVE) | COTTONWOOD | RETAIN | 27 | 2 |
| EXISTING #665 | YES | COTTONWOOD | RETAIN | 37 | 2 |
| EXISTING #666 | N/A | COTTONWOOD | REMOVE | 24 | 4 |
| EXISTING #667 | YES (GROVE) | COTTONWOOD | RETAIN | 29 | 2 |
| EXISTING #668 | YES (GROVE) | COTTONWOOD | RETAIN | 22 | 3 |
| EXISTING #669 | YES (GROVE) | COTTONWOOD | RETAIN | 30 | 2 |
| EXISTING #670 | YES (GROVE) | COTTONWOOD | RETAIN | 24 | 2 |
| EXISTING #671 | YES (GROVE) | MAPLE BIGLEAF | RETAIN | 15 | 3 |
| EXISTING #673 | YES (GROVE) | MAPLE BIGLEAF | RETAIN | 12 | 3 |
| EXISTING #674 | YES (GROVE) | CEDAR WESTERN-RED | RETAIN | 10 | 2 |
| EXISTING #675 | YES (GROVE) | CEDAR WESTERN-RED | RETAIN | 12 | 2 |
| EXISTING #676 | LARGE | MAPLE BIGLEAF | RETAIN | 10 | 2 |
| EXISTING #677 | YES | CEDAR WESTERN-RED | REMOVE | 35 | 3 |
| EXISTING #678 | N/A | COTTONWOOD | REMOVE | 18 | 4 |
| EXISTING #679 | N/A | ALDER RED | REMOVE | 14 | 4 |
| EXISTING #680 | N/A | MAPLE BIGLEAF | REMOVE | 14 | 4 |
| EXISTING #681 | N/A | ALDER RED | REMOVE | 10 | 4 |
| EXISTING #682 | N/A | ALDER RED | REMOVE | 14 | 4 |
| EXISTING #683 | LARGE | ALDER RED | RETAIN | 12 | 3 |
| EXISTING #686 | LARGE | CEDAR WESTERN-RED | RETAIN | 20 | 2 |
| EXISTING #687 | N/A | CHERRY | REMOVE | 11 | 4 |
| EXISTING #688 | YES | WILLOW | RETAIN | 12 | 4 |
| EXISTING #689 | N/A | ALDER RED | REMOVE | 18 | 4 |
| EXISTING #690 | N/A | WILLOW | REMOVE | 19 | 4 |
| EXISTING #691 | LARGE | MAPLE BIGLEAF | RETAIN | 13 | 2 |
| EXISTING #692 | N/A | CEDAR WESTERN-RED | REMOVE | 15 | 4 |
| EXISTING #693 | LARGE | MAPLE BIGLEAF | RETAIN | 12 | 2 |
| EXISTING #694 | LARGE | COTTONWOOD | RETAIN | 33 | 3 |
| EXISTING #695 | N/A | MAPLE BIGLEAF | REMOVE | 37 | 4 |
| EXISTING #696 | N/A | MAPLE BIGLEAF | REMOVE | 22 | 4 |
| EXISTING #697 | N/A | MAPLE BIGLEAF | RETAIN | 22 | 4 |
| EXISTING #698 | N/A | MAPLE BIGLEAF | RETAIN | 20 | 4 |
| EXISTING #699 | LARGE | CEDAR WESTERN-RED | RETAIN | 13 | 2 |
| EXISTING #700 | N/A | COTTONWOOD | REMOVE | 21 | 3 |
| EXISTING #701 | LARGE | CEDAR WESTERN-RED | RETAIN | 24 | 2 |
| EXISTING #9582 | N/A | HAWTHORN BLACK | REMOVE | 8 | 4 |
| EXISTING #9583 | YES | WILLOW | REMOVE | 8 | 3 |

TOTAL EXISTING TREES 42

| TREE NUMBER | SPECIES | ACTION |
|-------------|---------------|--------|
| SUP. #A | MAPLE BIGLEAF | ADD |
| SUP. #B | MAPLE BIGLEAF | ADD |
| SUP. #C | MAPLE BIGLEAF | ADD |

TOTAL PROPOSED SUPPLEMENTAL TREES 3

| TREE NUMBER | EXCEPTIONAL | SPECIES | DBH |
|---------------|-------------|-------------------|-----|
| EXISTING #101 | LARGE | DOUGLAS-FIR | 25 |
| EXISTING #102 | LARGE | MAPLE BIGLEAF | 22 |
| EXISTING #684 | LARGE | CEDAR WESTERN-RED | 25 |
| EXISTING #685 | LARGE | CEDAR WESTERN-RED | 12 |

| | | |
|--|------|---------------|
| PRIORITY 1 TREES RETAINED/REMOVED | 0/0 | 0% RETAINED |
| PRIORITY 2 TREES RETAINED/REMOVED | 14/0 | 100% RETAINED |
| PRIORITY 3 TREES RETAINED/REMOVED | 6/5 | 54% RETAINED |
| PRIORITY 4 TREES RETAINED/REMOVED (EXEMPT) | 3/14 | 17% RETAINED |

| | | |
|---------------------------------------|-----|--------------|
| TOTAL EXISTING TREES (EXEMPTED TREES) | 42 | |
| COUNTED EXISTING TREES | -17 | |
| PROPOSED RETAINED TREES | 25 | |
| | 23 | 92% RETAINED |

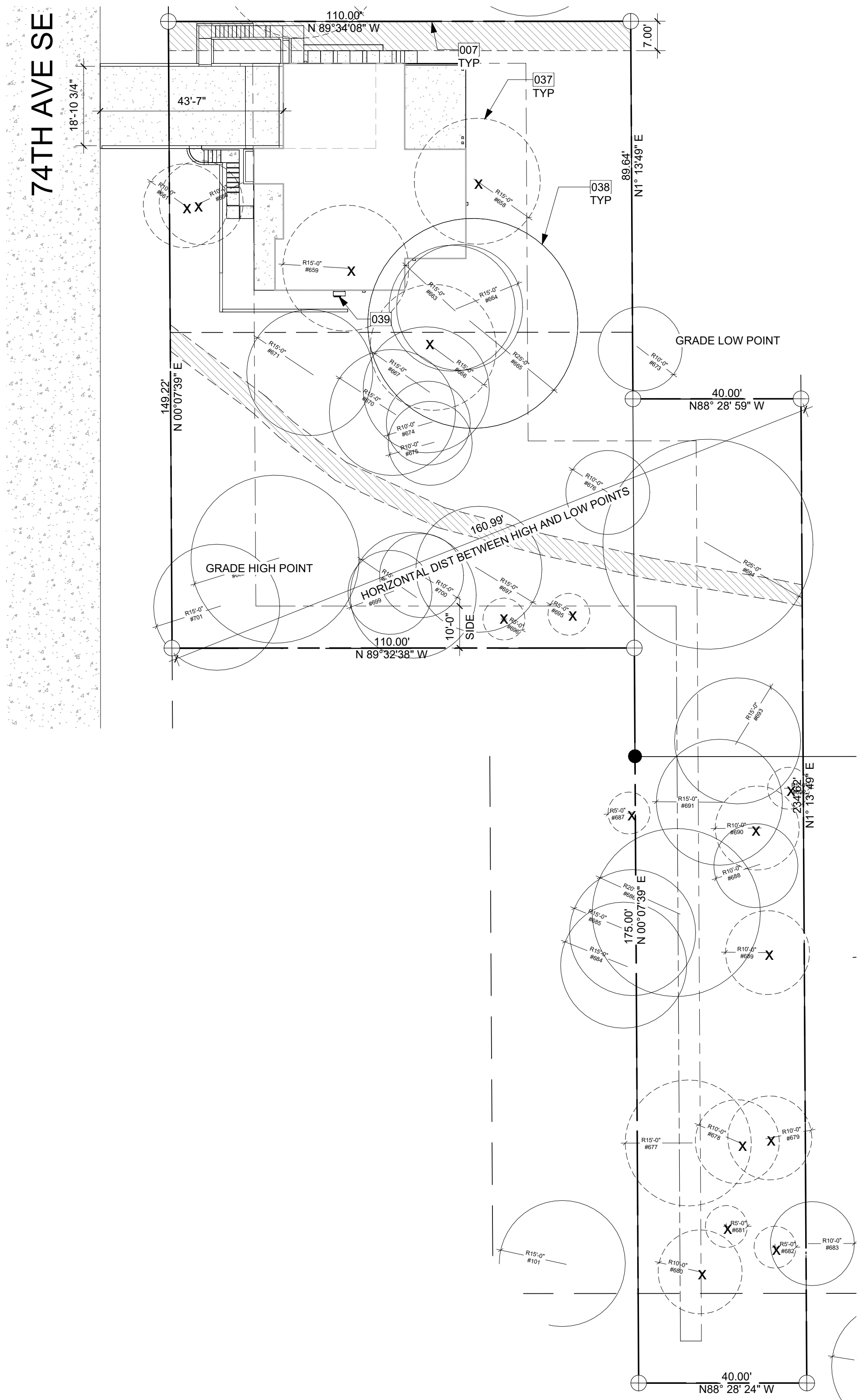
| | |
|-----------------------------|---|
| EXCEPTIONAL TREES REMOVED | 3 |
| SUPPLEMENTAL TREES REQUIRED | 3 |

- NOTES:
- A MINIMUM OF 30% OF TREES WITH A DIAMETER OF 10" OR GREATER SHALL BE RETAINED PER MICC 19.10.060.2.a.
 - PER ARBORIST REPORT, TREE PRESERVATION PRIORITY HAS BEEN GIVEN TO EACH MARKED TREE. TREES UNDER PRIORITY 4 ARE NOT CONSIDERED A LARGE TREE PER MICC 19.10.060.2.a.
 - PRIORITY 1: HIGH PRIORITY FOR PROTECTION
 - PRIORITY 2: GOOD OR FAIR CONDITION TREE WORTH PROTECTING, BUT NOT VALUABLE
 - PRIORITY 3: POOR CONDITION AVERAGE TREE, NOT OWRTH ANY SPECIAL PROTECTION MEASURES.
 - PRIORITY 4: TREES THAT SHOULD BE REMOVED UNDER MOST CIRCUMSTANCES.
 - TREE REPLACEMENT RATIO TO FOLLOW TABLE WITHIN MICC 19.10.070.A.

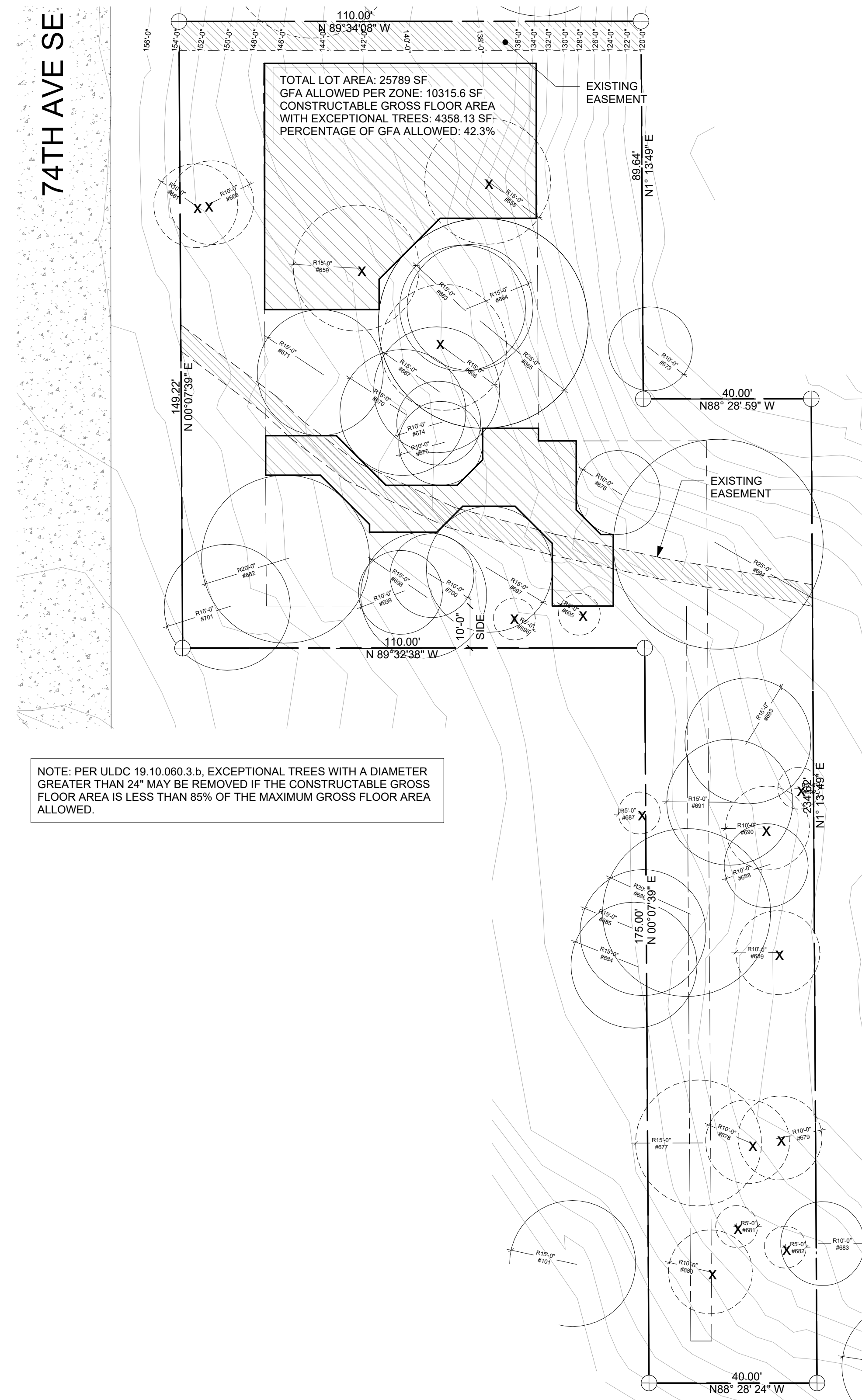
MICC 19.10.060 TREE REMOVAL

Retention of exceptional trees. Development proposals specified under subsection (a)(1) of this section shall retain exceptional trees with a diameter of 24 inches or more. Exceptional trees with a diameter of 24 inches or more that are retained shall be credited towards compliance with the retention requirements of subsection (A)(2) of this section. Removal of exceptional trees with a diameter of 24 inches or more, shall be limited to the following circumstances:

- Retention of an exceptional tree(s) with a diameter of 24 inches or more will result in an unavoidable hazardous situation; or
- Retention of an exceptional tree(s) with a diameter of 24 inches or more will limit the constructable gross floor area to less than 85 percent of the maximum gross floor area allowed under chapter 19.02 MICC; or,
- Retention of an exceptional tree(s) with a diameter of 24 inches or more will prevent creation of a residential lot through a subdivision or short subdivision that is otherwise allowed by this title.



TREE RETENTION DIAGRAM 1" = 20'-0"



BUILDING PAD DIAGRAM 1" = 20'-0"

NOTE: PER ULDC 19.10.060.3.b, EXCEPTIONAL TREES WITH A DIAMETER GREATER THAN 24" MAY BE REMOVED IF THE CONSTRUCTABLE GROSS FLOOR AREA IS LESS THAN 85% OF THE MAXIMUM GROSS FLOOR AREA ALLOWED.

TOTAL LOT AREA: 25789 SF
 GFA ALLOWED PER ZONE: 10315.6 SF
 CONSTRUCTABLE GROSS FLOOR AREA WITH EXCEPTIONAL TREES: 4358.13 SF
 PERCENTAGE OF GFA ALLOWED: 42.3%

DIVISION 1 - GENERAL REQUIREMENTS:

THE GENERAL CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS TO COMPLETE THE WORK AND NOTIFY THE ARCHITECT OF RESOLUTION FOR ALL DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND CIVIL DRAWINGS PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS - NOTIFY ARCHITECT OF DIMENSIONS IN QUESTION.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING AND REVIEWING THE BUILDING DEPARTMENT APPROVED SET OF CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL PROMPTLY NOTIFY OF REQUIRED CHANGES, AT THAT TIME, THE ARCHITECT WILL INITIATE APPROPRIATE ACTION.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DISSEMINATING ALL INFORMATION CONTAINED IN THE DRAWINGS, SPECIFICATIONS AND BID DOCUMENTS TO EACH SUBCONTRACTOR.

INSTALLATION OF MATERIALS:

ALL PRODUCTS IN THE DRAWINGS OR INTERIOR SPECIFICATIONS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PUBLISHED INSTRUCTIONS. MANUFACTURER'S INSTRUCTIONS IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. PRODUCTS NOT PROVIDED WITH INSTALLATION INSTRUCTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE BEST TRADE PRACTICES OF THE INDUSTRY. IN ANY CASE, WORKERS EXPERIENCED AND SKILLED IN THE INSTALLATION OF THESE ITEMS SHALL INSTALL ALL PRODUCTS.

APPROVAL OF SUBSTITUTIONS:

THE GENERAL CONTRACTOR SHALL SUPPORT SUBSTITUTION REQUESTS FOR SPECIFIED MATERIALS WITH COMPLETE DATA, DRAWINGS AND SAMPLES AS NECESSARY FOR REVIEW BY THE ARCHITECT AND OWNER. ALLOW TIME FOR INVESTIGATION BEFORE A DECISION MUST BE MADE. WHEN THE ARCHITECT APPROVES A SUBSTITUTION, IT IS WITH THE UNDERSTANDING THAT THE GENERAL CONTRACTOR GUARANTEES THE SUBSTITUTED ARTICLE TO BE EQUAL OR BETTER THAN THE ONE SPECIFIED. ANY CHANGES TO THE CONTRACT SHALL BE DONE BY CHANGE ORDER.

DIVISION 2 - SITE WORK:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING. ANY VARIATION FROM THE DRAWINGS AND DIMENSION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. PRIOR TO ANY FIELD CHANGES THERE MUST BE APPROVAL FROM THE ARCHITECT.

SITE EXCAVATION, BACKFILL, AND FINISH GRADING:

EXCAVATION SITE TO GRADES AS SHOWN ON DRAWINGS (NOTIFY ARCHITECT OF ANY AND ALL UTILITY LOCATIONS FROM SITE. DO NOT ASSUME ANY UTILITY OR EXISTING ON-SITE MATERIAL ACCEPTABLE FOR BACKFILL. PLACE WASHED GRAVEL AS SHOWN. PROVIDE COMPACT FILL UNDER SLABS PER STRUCTURAL ENGINEERS SPECIFICATIONS. FINISH-GRADE SITE FOR LAWN.

CONCRETE STAIRS:

EXTERIOR CONCRETE STAIRS ARE SHOWN DIAGRAMMATICALLY, AND TO FOLLOW THE CONTOUR OF THE SITE WHILE COMPLYING WITH IRC R311. THE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING, AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY FIELD CONDITIONS THAT HAVE NOT BEEN DOCUMENTED.

SITE UTILITIES:

EXISTING UTILITIES TO REMAIN, EXCEPT AS NOTED.

SITE DRAINAGE:

CONNECT ALL DOWNSPOUTS TO STORM SYSTEM PER CIVIL DRAWINGS.

DIVISION 3 - CONCRETE:

FOUNDATIONS:

PATCH ROCK PACKETS WHEN ABOVE GRADE WITH SACK FINISH. SEE STRUCTURAL GENERAL NOTES FOR SUPPLEMENTAL INFORMATION.

CAST-IN-PLACE ARCHITECTURAL CONCRETE:

ALL CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED, AND PLACED IN ACCORDANCE WITH ACI 308.2 AND ACI 308.3. REINFORCE CONCRETE PATIO AND WALKWAY WITH CONTROL JOINTS AS INDICATED ON DRAWINGS. PREPARE GRADE, FILL, AND COMPACT AND SOFT AREAS. SEE STRUCTURAL PLANS AND NOTES.

DIVISION 4 - MASONRY:

THIN BRICK MASONRY VENEER MECHANICALLY ATTACHED TO WALL PER MANUFACTURER, TO BE APPROVED BY OWNER.

DIVISION 5 - METALS:

METAL FABRICATIONS:

CUSTOM-FABRICATED METAL ITEMS INCLUDING EXTERIOR AND INTERIOR RAILINGS AND HANDRAILS TO BE APPROVED BY OWNER AND ARCHITECT. INSTALLED BY CONTRACTOR. ALL EXPOSED STRUCTURAL METAL CONNECTORS TO BE POWDER COATED, UNLESS OTHERWISE SPECIFIED. COLOR TO BE DETERMINED. PROVIDE NEOPRENE GASKET AT ALL DISSIMILAR METAL CONNECTIONS, TYP. STRUCTURAL STEEL AND METAL FABRICATION REFER TO AND COMPLY WITH STRUCTURAL ENGINEERING NOTES, SPECIFICATION AND DRAWINGS. PROVIDE SHOP DRAWINGS SHOWING DETAILS OF FABRICATION, ASSEMBLY AND INSTALLATION INCLUDING TEMPLATES FOR ANCHOR BOLT PLACEMENT. GRIND SMOOTH EXPOSED WELDS.

STEEL FINISHES:

EXTERIOR STEEL UNLESS NOTED OTHERWISE - GALVANIZED, INCLUDING ALL BOLTS, NUTS AND WASHERS. INTERIOR STEEL - SEE SHOP DRAWINGS

DIVISION 6 - WOODS & PLASTICS:

REFER TO AND COMPLY WITH STRUCTURAL ENGINEERING NOTES, SPECIFICATION AND DRAWINGS. PROVIDE BLOCKING FOR PLUMBING FIXTURES, BATH ACCESSORIES AND ELECTRICAL DEVICES. PER R317.4. WOOD/PLASTIC COMPOSITES USED IN EXTERIOR DECK BOARDS, STAIRS TREADS, HANDRAILS AND GUARD RAILS AND ITEMS SHALL BEAR A LABEL INDICATING THE REQUIRED PERFORMANCE LEVELS AND DEMONSTRATING COMPLIANCE WITH THE PROVISIONS OF ASTM D 7032.

TREATED WOOD:

PRESSURE TREATED LUMBER AND PLYWOOD WITH WATER-BORN PRESERVATIVES FOR WOOD TO MASONRY, WOOD TO STRUCTURAL STEEL CONTACT AND AS SPECIFICALLY NOTED IN THE DRAWINGS. STRUCTURALLY GLUED LAMINATED UNITS: REFER TO AND COMPLY WITH STRUCTURAL ENGINEERING NOTES, SPECIFICATION AND DRAWINGS. SEAL ALL SURFACES, INCLUDING CUT ENDS AND DRILLED BOLT HOLES PRIOR TO PLACING MEMBERS. ALL EXPOSED TO WEATHER UNITS TO BE TREATED.

FINISH CARPENTRY:

COMPLY WITH AWI QUALITY STANDARDS "CUSTOM", UNLESS INDICATED OTHERWISE. USE ONLY SEASONED LUMBER. CONCEAL FASTENERS WHEREVER POSSIBLE, EXCEPT WHERE EXPOSED FASTENERS ARE SHOWN. DRIP GALVANIZED OR STAINLESS STEEL FASTENERS FOR WORK EXPOSED TO EXTERIOR AND HIGH HUMIDITY. INSTALL EXTERIOR TRIM WITH MINIMAL POSSIBLE NUMBER OF JOINTS. CENTER JOINTS OVER VERTICAL MEMBERS WHEREVER POSSIBLE. STAGGER JOINTS IN ADJACENT RELATED MEMBERS. COPING TO RETURN MITER AT CORNERS TO PRODUCE TIGHT-FITTING JOINTS. USE SCARF JOINTS FOR END TO END JOINTS. INSTALL WITH FLUSH APPEARANCE. KERF BACKS AS REQUIRED TO AVOID WARPING. HAND SELECT LUMBER FOR INTERIOR TRIM OF SIMILAR GRAIN AND COLORATION. PRE-STAIN SEAL AND FINISH PER OWNER.

STAIRWAY CONSTRUCTION:

CONSTRUCT ALL STAIRS IN ACCORDANCE WITH IRC SECTION R311.7, AND AS DETAILED IN THESE DRAWINGS.

FIREBLOCKING:

INSTALL FIRE BLOCKING BOTH VERTICAL AND HORIZONTAL IN CONCEALED SPACES PER IRC SECTION R302.11.

DRAFTSTOPPING:

INSTALL DRAFTSTOPPING IN ACCORDANCE WITH IRC R302.12.

FIRESTOPPING:

FIRESTOP SYSTEMS SHALL BE PROVIDED AT THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED ASSEMBLIES, PER IRC R302.4.

DIVISION 7 - THERMAL & MOISTURE PROTECTION:

MOISTURE CONTROL:

EXTERIOR WALLS SHALL BE PROVIDED WITH A WATER-RESISTANT BARRIER PER IRC R703.1.1.

FOUNDATION WALL DAMPROOFING:

APPLY ASPHALTIC EMULSION TO ALL BELOW-GRADE FOUNDATION WALLS. ALL BELOW-GRADE FOUNDATION WALLS GREATER THAN 48" HIGH SHALL ALSO BE PROTECTED WITH DRAINAGE MATTING (MIRADRRAIN, DELTA-DRAIN, ENKADRRAIN, OR APPROVED EQUAL).

FOUNDATION WALL WATERPROOFING:

ALL BELOW-GRADE FOUNDATION WALLS TO BE SPRAYED WITH GRAYWALL WATERPROOFING BY RUBBER POLYMER CORPORATION. THE MEMBRANE SHALL BE APPLIED TO A MINIMUM THICKNESS OF 40-MILS TO EXTERIOR SURFACES WHICH ARE CLEAN AND DRY, AND THE AMBIENT AIR TEMPERATURE IS 15° F OR ABOVE. FILL HONEYCOMBED AREAS, CRACKS, AND TIE-HOLES WITH NON-SHRINKING GROUT BEFORE APPLYING THE MEMBRANE.

ALL FOUNDATION WALLS GREATER THAN 48" HIGH (BELOW GRADE) SHALL ALSO BE PROTECTED BY DELTA-DRAIN DAMPROOFING MEMBRANE BY COSELLA-DORKEN PRODUCTS, INC. SUPPLY ALL SYSTEM COMPONENTS INCLUDING DELTA-MS SHEET BARRIER, DELTA TERMINATION BAR, DELTA MOLDING STRIP, DELTA PLUG-AND-NAIL, AND ALL APPLICABLE SEALANTS.

THERMAL INSULATION:

SEE PLANS AND ENERGY CODE NOTES FOR SPECIFIC BUILDING ENVELOPE REQUIREMENTS PER 2018 WSEC.

ACOUSTIC INSULATION:

PER OWNER SPECIFIED LOCATIONS.

SPRAY INSULATION:

ICYNENE PROSEAL (MD-C-200V3) SPRAY FOAM INSULATION: MEDIUM-DENSITY, HFC 365/227 BLOWN, CONFORMING TO THE FOLLOWING:

1. THERMAL RESISTANCE (1 IN. OF MATERIAL / R-VALUE / IN @75 DEG F): ASTM C 518; 7.1 HR. SQFT. DEG F.BTU.
2. AIR PERMEANCE (FOR 1 IN. OF MATERIAL): ASTM E 2178: LESS THAN 0.02 U.S. M 2 @75 PA
3. WATER VAPOR TRANSMISSION (FOR 1.5 INCHES OF MATERIAL): ASTM E 96; 0.97 PERM.
4. RESISTANCE TO FUNGAL GROWTH: ASTM C 1338: NO GROWTH
5. PRODUCT EMISSIONS: COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) "LOW-EMITTING" MATERIAL PER CA SECTION 01350 CRITERIA. ICYNENE PROSEAL (MD-C-200V3) FOAMED-IN-PLACE INSULATION Q7 21 19-S ICYNENE PROSEAL (MD-C-200V3) - USA LATEST REVISION: MAY 13, 2016.
6. FLAME SPREAD & SMOKE DEVELOPED RATING: ASTM E 84 A. FLAME SPREAD: 25 B. SMOKE DEVELOPMENT: 300.

BUILDING WRAP:

- A. MATERIAL PERFORMANCE: PROVIDE BUILDING WRAPS THAT ARE WATER-RESISTIVE BARRIERS AND AIR BARRIER MATERIALS HAVING AN AIR PERMEANCE NOT TO EXCEED 0.004 CUBIC FEET PER MINUTE PER SQUARE FOOT UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. WATER (1.57 PSF) (0.02 USM @ 75 PA.) WHEN TESTED IN ACCORDANCE WITH ASTM E 2178.
- B. MECHANICALLY FASTENED. MEMBRANE AIR BARRIERS: MATERIAL SHALL MEET REQUIREMENTS OF ICC-ES AC308. "ACCEPTANCE CRITERIA FOR WATER-RESISTIVE BARRIERS", CCMC TECHNICAL GUIDE 07102. "SHEATHING, MEMBRANE, BREATHER-TYPE", CCMC TECHNICAL GUIDE 07273. "AIR BARRIER MATERIALS" AND TEST REPORTS FROM ACCREDITED TESTING LABORATORIES SHALL BE MADE AVAILABLE UPON REQUEST.
- C. CONNECTIONS TO ADJACENT MATERIALS: PROVIDE CONNECTIONS TO PREVENT AIR LEAKAGE AT THE FOLLOWING LOCATIONS: 1. WALLS, INCLUDING PENETRATIONS, TIES AND ANCHORS; 2. WALLS, WINDOWS, CURTAIN WALLS OR DOORS; 3. DIFFERENT WALL ASSEMBLIES, AND FIXED OPENINGS WITHIN THOSE ASSEMBLIES; 4. WALL AND ROOF CONNECTIONS; 5. WALL CONTROL AND EXPANSION JOINTS; 6. WALL PIPE AND DUCT PENETRATIONS; AND 7. WALL SEISMIC AND EXPANSION JOINTS.

SIDING:

- A. FIBER CEMENT PLANK HORIZONTAL LAP SIDING W/ 6" EXPOSURE (HARDIPLANK SELECT CEDARMILL LAP SIDING, OR SIMILAR), PAINTED COLOR PER OWNER.
- B. FIBER CEMENT PANEL (HARDIPANEL SMOOTH VERTICAL SIDING, OR SIMILAR) RAINSCREEN PAINTED TO MATCH WINDOW FRAME.
- C. FIBER CEMENT VERTICAL SIDING W/ 12" EXPOSURE (HARDIPANEL VERTICAL SIDING SIERRA 8, OR SIMILAR) RAINSCREEN. PAINTED COLOR PER OWNER.
- D. ENGINEERED T&G HORIZONTAL RAINSCREEN SIDING (RESYSTA™) OR APPROVED BY OWNER) W/ 4" EXPOSURE. INSTALL PER MANUFACTURER.
- E. STONE MASONRY VENEER MECHANICALLY ATTACHED TO WALL AND INSTALLED PER MANUFACTURER RECOMMENDATION. COLOR & PATTERN PER OWNER.
- F. THIN BRICK MASONRY VENEER MECHANICALLY ATTACHED TO WALL AND INSTALLED PER MANUFACTURER RECOMMENDATION. COLOR & PATTERN PER OWNER.

TRIM:

- A. WINDOW TRIM: FIBER CEMENT 1x6 (HARDITRIM, OR SIMILAR), PAINTED COLOR BY OWNER.
- B. OUTSIDE VERTICAL TRIM: TAMLYN XTREME REVEAL XOCR
- C. INSIDE VERTICAL TRIM: TAMLYN XTREME TRIM LOW PROVILLE PLANK INSIDE CORNER (XICLP34).

SOFFIT:

- A. CLEAR CEDAR T&G W/ 4" EXPOSURE, SEAL & STAIN ALL SIDES BEFORE INSTALLING AT ALL CUTS.

EXTERIOR STRUCTURAL WOOD SEALER:

STAIN EXPOSED WOOD BEAMS, OUTLOOKERS, COLUMNS, KNEE BRACES, RAFTER TAILS, ETC. WITH 2-COATS MINIMUM BENJAMIN MOORE "MOORWOOD" ALKYD SEMI-TRANSPARENT DECK AND SIDING STAIN OR EQUAL. COLOR TO BE DETERMINED. VERIFY W ARCHITECT / OWNER.

WATERPROOF DECK:

PLYWOOD SURFACE: 3/4" T&G, EXTERIOR GRADE B/C OR BETTER, INSTALLED B SIDE UP; PRIMER: TUFFFLEX TUFF-POXY PRIMER #2 OR #3; BASE MEMBRANE: TUFFLEX SOLVENT FREE "TUFF"; AGGREGATE BINDING TOP COAT: TUFFLEX COLORCOAT AR (COLOR - ROCKY GRAY); TOP COAT: TUFFLEX COLORCOAT AL-ESTER TOP COAT (COLOR - ROCKY GRAY); INSTALLATION PER MANUFACTURER'S SPECIFICATION OVER SLOPED RIGID INSULATION. DECK TO BE 3/4" MIN CEDAR BOARDS OVER RIPPED PT 2x CONTINUOUS SLEEPERS.

ROOFING MATERIAL:

MEMBRANE:

- | | |
|---------------|--|
| MANUFACTURER: | WEATHERBOND, OR BY OWNER |
| STYLE: | MECHANICALLY FASTENED TPO, OR BY OWNER |
| COLOR: | GRAY, TO BE APPROVED BY OWNER. |
| FASTENERS: | PER MANUFACTURER. |

COMPOSITION SHINGLE:

- | | |
|---------------|------------------|
| MANUFACTURER: | PER OWNER |
| STYLE: | PER OWNER |
| COLOR: | PER OWNER |
| FASTENERS: | PER MANUFACTURER |

STANDING SEAM METAL:

- | | |
|---------------|---------------------------------------|
| MANUFACTURER: | TAYLOR METAL PRODUCTS, OR BY OWNER. |
| STYLE: | PREMIER-LOCK, OR BY OWNER. |
| COLOR: | DARK BRONZE, TO BE APPROVED BY OWNER. |
| FASTENERS: | PER MANUFACTURER. |

OTHER:

- | | |
|------------------------|---|
| ICE & WATER SHIELD: | INSTALL 36" WIDE ACROSS ALL HIPPS AND VALLEYS, AND (2) 36" WIDE COURSES AT ALL GAVES. |
| UNDERLAYMENT: | TYPE 30 PER ASTM D-226 |
| VALLEY FLASHING: | 28 GAUGE, ENAMELED, MIN. 24" "W"-FLASHING |
| WALL TRAYS: | 26 GAUGE, ENAMELED, MIN. 6" TROUGH |
| ROOF TO WALL FLASHING: | 26 GAUGE, ENAMELED, MIN. 4" COMP. |

COVERAGE:

- | | |
|----------------------------|--|
| PIPE FLASHING: | 26 GAUGE, ENAMELED, MIN. 12" SKIRT |
| CHIMNEY & SKYLIGHT FLSHNG: | 26 GAUGE, ENAMELED SADDLE WITH DIVERTER WHERE WIDTH EXCEEDS 2 FEET |
| IN-WALL COUNTER FLASHING: | 26 GAUGE, ENAMELED 7-BAR FLASHING |
- * DELIVER AND INSTALL PER IRC SECTION R905

GUTTERS AND DOWNSPOUTS:

LAP EAVE FLASHING INTO POWDER COATED ALUMINUM SQUARE GUTTER WITH MATCHING DOWNSPOUTS CONNECTED TO STORM DRAIN AND RUN TO APPROVED DISCHARGE. PER CIVIL. CUSTOM FABRICATED RAKE AT GUTTER END. DOWNSPOUT LOCATIONS PER PLANS.

ROOF VENTING:

PROVIDE LOW-PROFILE EAVE (RIDGEVENT20 BY AIR VENT INC. OR APPROVED EQUAL), RIDGE, AND RAKE VENTING AS WELL AS HAT-VENTS WHERE SHOWN. UN-VENTED SINGLE-JOIST ROOF CAVITY, PROVIDE ICYNENE PROSEAL (MD-C-200 V3) CLOSED-CELL WATER-BASED SPRAY FOAM INSULATION, APPLIED IN DIRECT CONTACT WITH UNDERSIDE OF ROOF SHEATHING.

ROOF FLASHING:

PROVIDE FLASHING AND OTHER WEATHER PROTECTION PER IRC SECTIONS R903 AND R905. VALLEY FLASHING SHALL BE ENAMELED METAL WITH V-CRIMP TYPICAL. ROOF-TO-MASONRY CONDITIONS SHALL HAVE ENAMELED STEPPFLASH AND COUNTERFLASH.

DIVISION 8 - DOORS AND WINDOWS:

EXTERIOR DOORS:

ALL EXTERIOR DOORS SHALL BE SELECTED BY OWNER. COLOR TO BE DETERMINED. PROVIDE CONTINUOUS INTERLOCKING METAL WEATHER-STRIPPING, BRASS ANODIZED METAL THRESHOLD, CYLINDER ENTRY LOCK ACCESS AND DEADBOLT DRILLING. DOUBLE-GLAZED SAFETY GLASS, WITH LOW-E (COLOR TO MATCH WINDOWS), AS INDICATED ON DRAWINGS. PROVIDE SCREENS AT SLIDING DOORS ONLY WHEN INDICATED ON DRAWINGS. PROVIDE INNOTECH OR EQUAL AS APPROVED BY ARCHITECT / OWNER.

INTERIOR DOORS:

ALL INTERIOR DOORS BY OWNER. CLEAR COATED (BOTH SIDES) WOOD VENEER OR PAINTED BOTH SIDES. VERIFY W OWNER. ALL POCKET- AND SURFACE-SLIDER DOORS PREMIUM TRACK AND ROLLER HARDWARE. VERIFY W/OWNER.

GARAGE DOORS:

SEE ELEVATIONS FOR PANEL PATTERN. CLOPAY INSULATED STEEL BASE DOOR WITH WINDOW STYLE OPTIONS. STYLE TO BE SELECTED BY OWNER.

DOOR HARDWARE:

-EXTERIOR DOORS: TO BE SELECTED BY OWNER, KEY LOCK EXTERIOR, KNOB LOCK EXTERIOR, WITH SEPARATE DEAD BOLT TO MATCH. TO BE DETERMINED BY OWNER. -INTERIOR DOORS: TO BE SELECTED BY OWNER. PROVIDE PRIVACY LOCKS AT ALL BATHROOMS AND BEDROOMS; PASSAGE LATCH AT ALL OTHERS UNLESS NOTED OTHERWISE; MATCHING HINGES TO MATCH LATCH SETS. VERIFY W/OWNER. PROVIDE 2 PAIR BUTTS ON ALL 8'-0" HIGH DOORS, -1/2 PAIR BUTTS ON 6'-8" OR 7'-0" DOORS. PROVIDE DOOR-STOPS TO MATCH HARDWARE.

WINDOWS:

ALL WINDOWS TO BE DOUBLE-PANED, VINYL, ANODIZED DARK BRONZE FINISH, WITH INSULATED LOW-E GLAZING. WINDOW PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R609. SIMULATED DIVIDED LITES SHALL HAVE 1" BEAD STOP PROFILE. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER. GENERAL CONTRACTOR SHALL INSTALL 7" FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS. PROVIDE INSECT SCREENS AT ALL OPERABLE LOCATIONS. EGRESS SHALL BE PROVIDED FROM ALL SLEEPING ROOMS PER IRC SECTION R310. GENERAL CONTRACTOR SHALL REVIEW ALL TEMPERED GLASS.

ACCESS DOORS:

CRAWL SPACE & ATTIC ACCESS DOOR SIZE AND LOCATION PER PLAN.

SKYLIGHTS:

N/A

DIVISION 9 - INTERIOR FINISHES:

GYPSUM DRYWALL:

SMOOTH FINISH 1/2" G/WB ON INTERIOR WALLS; 5/8" G/WB ON CEILINGS. PROVIDE GYPSUM DRYWALL CONSTRUCTION FIRE-RESISTANT RATINGS INDICATED. INSTALL WATER-RESISTANT BACKING BOARD IN POOL ROOM, BATHROOMS, & OTHER SIMILAR "WET" AREAS NOT OTHERWISE INDICATED TO RECEIVE "WONDERBOARD" & TILE. INSTALL COMPOUND IN 3 COATS. PREFILL OF CRACKS RECOMMENDED BY MANUFACTURER. SAND AFTER FINAL 2 COATS. ATTACHMENTS: SCREW (ABSOLUTELY NO NAILS) ACCESSORIES AND TAPE: AS RECOMMENDED BY GYPSUM BOARD MANUFACTURE & AS INDICATED IN THE DRAWINGS. JOINT COMPOUND: UNITED STATES GYPSUM CO. USE WATER-RESISTANT JOINT COMPOUND WITH WATER RESISTANT BACKING BOARD. FINISH: SMOOTH-WALLS. REGLETS AND BEADS: VERIFY WITH ARCHITECT & OWNER AS REQUIRED.

HARDWOOD FLOORING:

TO BE SELECTED BY OWNER. APPLY (3) COATS SWEDISH FINISH. INSTALL FLUSH WOODEN FLOOR GRILLES PER MECHANICAL REQUIREMENTS FOR AIR VENTING. VERIFY LOCATION OF GRILLES WITH ARCHITECT & OWNER.

BUILT-IN CABINETRY: VERIFY W/ OWNER.

INTERIOR STONE WORK/ HARD SURFACE COUNTERTOPS:

WHERE APPLICABLE, COMPLY WITH RECOMMENDATION CONTAINED IN NATIONAL GRANITE QUARRIES ASSOC., INC. (NBGQA), STONE SLAB: NOT YET DETERMINED, VERIFY WITH OWNER. GROUT: HYDRONEM, COLOR AS SELECTED BY OWNER. SEALANTS: AS RECOMMENDED BY INSTALLER.

INTERIOR WOOD TRIM:

IN INTERIOR WOOD TRIM TO BE MDF UNLESS NOTED OTHERWISE. VERIFY W/OWNER.

BASEBOARD TRIM:

ENTIRE RESIDENCE FIRST FLOOR SHALL HAVE A 1/2 X 5 VERIFY W/OWNER MDF BASEBOARD TRIM. ROOMS WITH CERAMIC TILE FLOORING SHALL HAVE A CERAMIC TILE BASE. VERIFY W/OWNER.

TILE:

COMPLY WITH MORTAR AND GROUT MATERIALS AND INSTALLATION STANDARD OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARD SPECIFICATION FOR CERAMIC TILE AND MANUFACTURER'S INSTRUCTIONS FOR GLASS MESH MORTAR UNITS (WONDERBOARD) PER MANUFACTURER'S REQUIREMENT AT BATHROOMS. VERIFY EXPOSED EDGE OF THE TILE MEETING CARPET, WOOD, OR RESILIENT FLOORING, UNLESS OTHERWISE INDICATED. GROUT: HYDRONEM, COLOR AS SELECTED BY OWNER. SEALANTS: ONE-PART MILDEW-RESISTANT SILICONE SEALANTS PER MANUFACTURER.

PAINT SPECIFICATIONS:

VERIFY ALL FINISH WITH OWNER PRIOR TO PROCEEDING. COLORS WILL BE SELECTED BY OWNER FROM STANDARD COLOR AVAILABLE FOR THE COATINGS REQUIRED. ACOMPLY REQUIRE COAT TO MATERIALS. PROVIDE BARRIER COATS OVER INCOMPATIBLE PRIMERS WHERE REQUIRED. PROVIDE FINISH COATS WHICH ARE COMPATIBLE WITH PRIMERS. SAND LIGHTLY BETWEEN LACQUER COATS. APPLY ADDITIONAL COATS UNTIL PAINT FILM IS OF UNIFORM FINISH, COLOR AND APPEARANCE.

PRIMED AND PAINTED METAL: FIRST COAT: POLY-AMIDE EPOXY SECOND COAT: ALIPHATIC POLYESTER FINISH COAT: URETHANE GALVANIZED STEEL: EXPOSED EXTERIOR GALVANIZED STEEL LEFT UNPAINTED. EXTERIOR, DECKING, SIDING, EXTERIOR CEDAR TRIM & SOFFIT BOARDS: SEE SPECIFICATION - DIVISION 6 - WOOD AND PLASTICS SECTION. WOOD PAINTED DOORS: PRIME & TWO COATS BENJAMIN MOORE IMPREVO. COLOR TO BE SELECTED BY OWNER. WOOD LACQUER DOORS: TWO COATS TINTED SEMI-TRANSPARENT UV RESISTANT LACQUER. - COLOR TO BE SELECTED BY OWNER.

INTERIOR WOOD TRIM: TWO COATS CLEAR SEMI-GLOSS TRANSPARENT UV RESISTANT LACQUER OR PRIME AND TWO COATS OIL BASED SEMI-GLOSS ENAMEL. REVIEW WITH OWNER LOCATIONS OF PAINT VERSUS LACQUER. G/WB: FIRST COAT: PVA SEALER-PRIMER SECOND COAT: INTERIOR FLAT LATEX (SEMI-GLOSS LATEX ENAMEL IN WET LOCATIONS) THIRD COAT: INTERIOR FLAT LATEX (SEMI-GLOSS AT WET LOCATIONS).

INTERIOR WOOD PANELS: TWO COATS SHOP APPLIED CLEAR TINTED SEMI-TRANSPARENT UV RESISTANT LACQUER. TOUCH UP FIELD CUTS AS REQUIRED. VERIFY W/OWNER.

DIVISION 10 - SPECIALTIES:

TOWEL & BATH ACCESSORIES:

VERIFY W/OWNER SPECS. FOR ALL MIRRORS, TOWEL BARS, TOILET PAPER DISPENSERS AND ANY OTHER ACCESSORIES, WHETHER SHOWN ON PLANS OR NOT. PROVIDE BLOCKING FOR ALL ACCESSORIES AS INDICATED ON DRAWINGS.

STORAGE SYSTEMS: CONSULT WITH OWNER ON CLOSET STORAGE SYSTEMS.

DIVISION 11 - EQUIPMENT:

GARAGE DOOR OPENERS: N/A

DIVISION 12 - FURNISHINGS: N/A

DIVISION 13 - SPECIAL CONSTRUCTION: N/A

DIVISION 14 - CONVEYING SYSTEMS: N/A

DIVISION 15 - MECHANICAL:

HEATING AND VENTILATION:

ENERGY STAR RATED GAS WATER HEATER MIN UEF 0.91. HEAT PUMP WITH MIN HSPF OF 10.0. MAX HEAT OUTPUT OUTPUT **64,413 Btu/HR**. ALL HABITABLE LIVING SPACES SHALL BE SERVED BY HEADS, TO BE APPROVED BY OWNER. ALL EQUIPMENT INSTALLED PER MANUFACTURER RECOMMENDATION.

METAL DUCTS:

FOR DUCTS TO BE CONSIDERED INSIDE A CONDITIONED SPACE, ALL DUCT SYSTEMS SHALL BE LOCATED COMPLETELY WITHIN THE CONTINUOUS AIR BARRIER AND WITHIN THE BUILDING THERMAL ENVELOPE, OR WHERE METALLIC DUCTS ARE LOCATED OUTSIDE THE CONDITIONED SPACE, THEY MUST HAVE BOTH TRANSVERSE AND LONGITUDINAL JOINTS SEALED WITH MASTIC. IF FLEX DUCTS ARE USED, THEY CANNOT CONTAIN SPLICES.

GARAGE/CARPORT DUCTS:

N/A

EXHAUST FANS:

PROVIDE EXHAUST FANS WHERE SHOWN ON FLOOR PLANS.

THERMOSTATS:

PROVIDED BY MECHANICAL CONTRACTOR; VERIFY LOCATION(S) W/OWNER.

GAS APPLIANCE FIREPLACES:

MODEL BY OWNER. INSTALL PER MANUFACTURER'S REQUIREMENTS. PER IRC R1004.2, FACTORY BUILT HEARTH EXTENTIONS FOR APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA. FRAMING CLEARANCES PER SELECTED UNIT.

PLUMBING:

ALL PLUMBING TO BE INSTALLED PER THE UPC. WATER HEATERS IN UNCONDITIONED SPACE SHALL HAVE A THERMAL RESISTANCE OF R-10 FOR THE HEATER BASE PER WSEC. PROVIDE SEISMIC STRAPS PER THE UPC. DRAIN HOT WATER TANK PRESSURE-RELIEF VALVE TO OUTSIDE OF BUILDING OR TO FLOOR DRAIN (PROVIDE 1" MINIMUM AIR GAP) USING HARD-DRAWN COPPER PIPING. PROVIDE RETICULATING PUMP AND PLUMB FOR INSTANT HOT WATER. SOURCES OF IGNITION MUST BE KEPT AT LEAST 18" ABOVE FLOOR LINE. PROVIDE PLUMBING TO ALL FIXTURES SHOWN ON DRAWINGS. PROVIDE INSULATION FOAM AT ALL FLOOR, ROOF, AND WALL PLUMBING PENETRATIONS.

SPRINKLER SYSTEM:

13D SPRINKLER SYSTEM TO BE PROVIDED.

DIVISION 16 - ELECTRICAL:

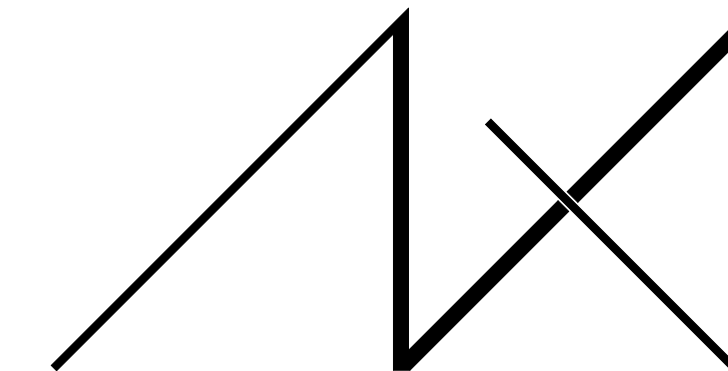
ALL WORK SHALL CONFORM TO CURRENT AND APPLICABLE CODES AND SHALL BE ACCORDING WITH THE GENERAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIREMENTS TO WIRE AND HOOK UP ALL EXHAUST FANS, APPLIANCES, FURNACES, AIR CONDITIONERS AND ALL OTHER EQUIPMENT REQUIRING ELECTRICAL SERVICE. ELECTRICAL CONTRACTOR SHALL VERIFY AND ACQUIRE APPROVAL OF PANEL DISTRIBUTION AND SERVICE FROM OWNER AND GENERAL CONTRACTOR PRIOR TO INSTALLATION.

INSULATION FOAM:

PROVIDE INSULATION FOAM AT ALL FLOOR, ROOF, AND WALL ELECTRICAL PENETRATIONS.

LIGHTING FIXTURE LAMPS:

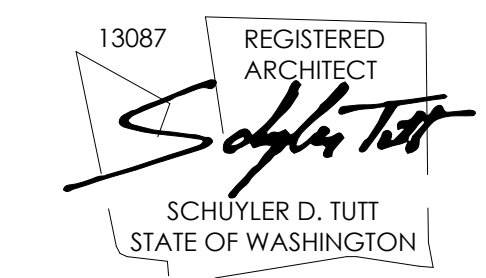
ALL INCANDESCENT LAMPS RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER. ALL FLOURESCENT LAMPS SHALL BE FULL-SPECTRUM.



MEDICI ARCHITECTS

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REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
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PROJECT / CLIENT:
 2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

SCHEDULES

DRAWN BY: DRA
 CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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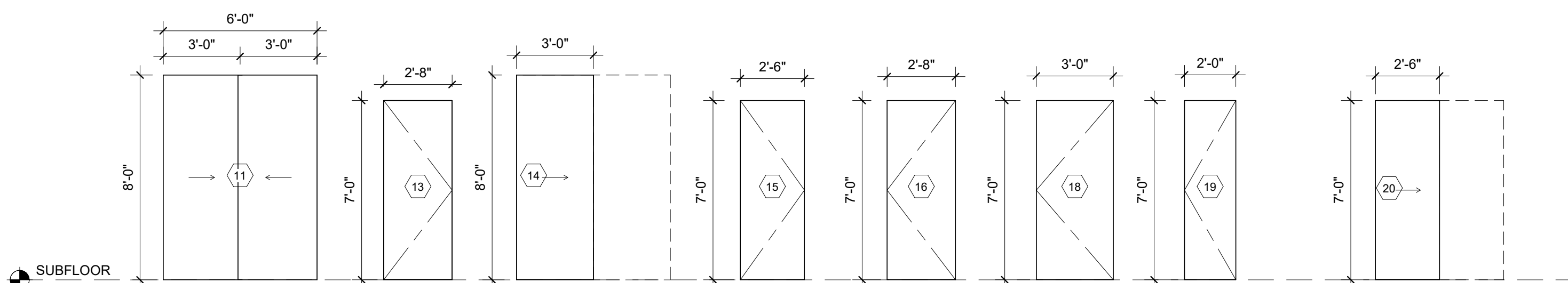
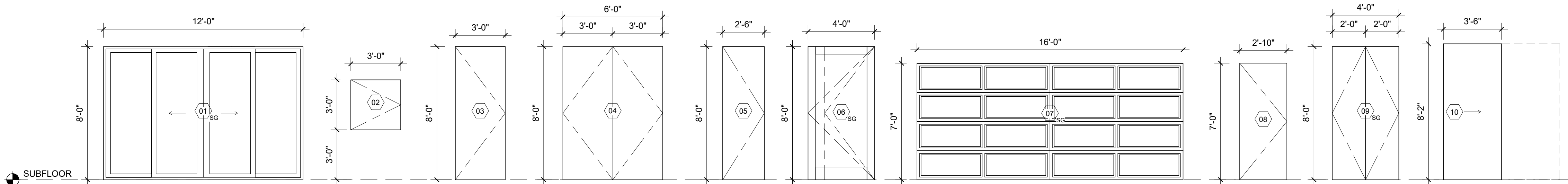
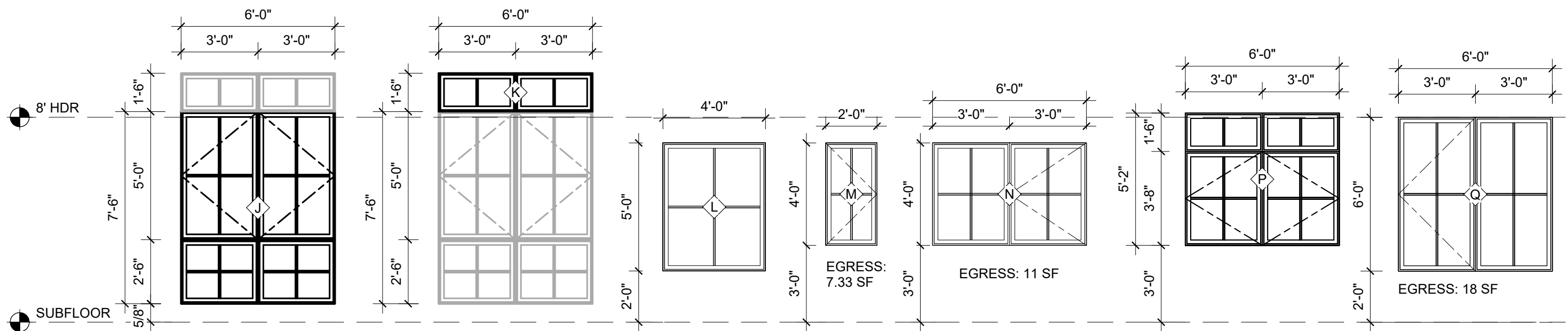
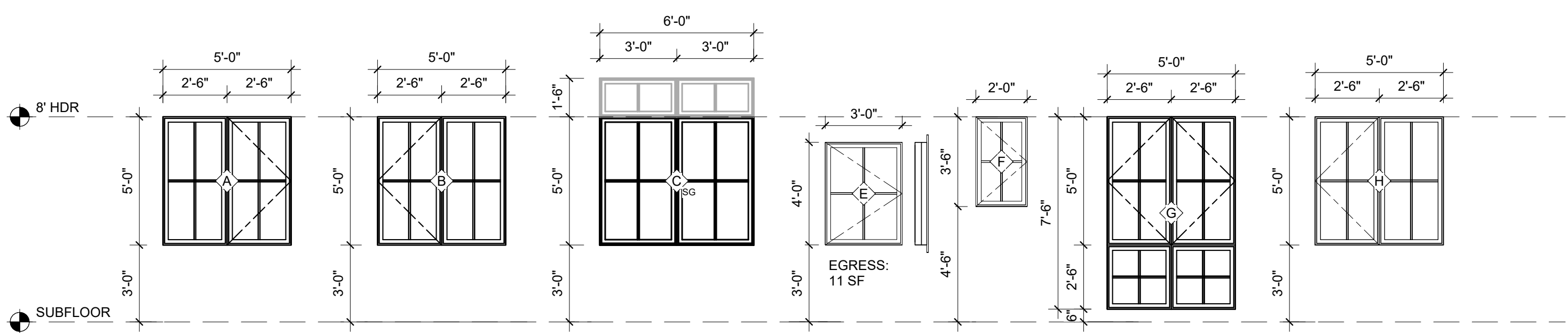
PROJECT No.: A22 087
 DATE: 10/30/2023

PLOT SCALE: 1:1
A0.5

| WINDOW SCHEDULE | | | | | | | | | | | | |
|---------------------------|-----|-----------------|-------|--------|--------|--------|---------|--------------|------------|----------|----------|--|
| NO | QTY | LOCATION | WIDTH | HEIGHT | AREA | MANUF. | U-VALUE | OPERATION | SCREEN | SG | HARDWARE | COMMENTS |
| A | 1 | BONUS ROOM | 5'-0" | 5'-0" | 25 SF | TBD | 0.28 | CASE / FIXED | Y / N | No | TBD | |
| B | 1 | BONUS ROOM | 5'-0" | 5'-0" | 25 SF | TBD | 0.28 | CASE / FIXED | Y / N | No | TBD | |
| C | 1 | ENTRY | 6'-0" | 5'-0" | 30 SF | TBD | 0.28 | FIXED | N | Yes | TBD | |
| D | 2 | VARIOUS | 3'-0" | 3'-8" | 22 SF | TBD | 0.28 | CASE | Y | <varies> | TBD | EGRESS PER PLAN |
| E | 3 | VARIOUS | 3'-0" | 4'-0" | 36 SF | TBD | 0.28 | CASE | Y | No | TBD | EGRESS PER PLAN |
| F | 7 | VARIOUS | 2'-0" | 3'-6" | 49 SF | TBD | 0.28 | CASE | Y | <varies> | TBD | |
| G | 2 | LIVING | 5'-0" | 7'-6" | 75 SF | TBD | 0.28 | CASE / FIXED | Y / N | No | TBD | |
| H | 1 | KITCHEN | 5'-0" | 5'-0" | 25 SF | TBD | 0.28 | CASE / FIXED | Y / N | No | TBD | |
| J | 1 | ENTRY | 6'-0" | 7'-6" | 45 SF | TBD | 0.28 | CASE / FIXED | Y / N | No | TBD | |
| K | 2 | ENTRY | 6'-0" | 1'-6" | 18 SF | TBD | 0.28 | FIXED | N | No | TBD | |
| L | 2 | ENTRY | 4'-0" | 5'-0" | 40 SF | TBD | 0.28 | FIXED | N | No | TBD | |
| M | 10 | VARIOUS | 2'-0" | 4'-0" | 80 SF | TBD | 0.28 | CASE | Y | No | TBD | EGRESS PER PLAN |
| N | 7 | VARIOUS | 6'-0" | 4'-0" | 168 SF | TBD | 0.28 | CASE / FIXED | Y / N | No | TBD | EGRESS PER PLAN |
| P | 1 | BED 02 | 6'-0" | 5'-2" | 31 SF | TBD | 0.28 | CASE / FIXED | Y / N | No | TBD | |
| Q | 1 | BED 04 / OFFICE | 6'-0" | 6'-0" | 36 SF | TBD | 0.28 | FIXED | N | No | TBD | |
| TOTAL WINDOW AREA: 753 SF | | | | | 705 SF | | 0.28 | | | UA = | 210.84 | |
| TOTAL SKYLIGHT AREA: 0 | | | | | | | 0.5 | | | UA = | 0 | |
| | | | | | | | | | TOTAL UA = | 210.84 | | NOTE: SEE A0.3 & A4.0-A4.1 FOR WINDOW DIVISIONS. |

| EXTERIOR DOOR SCHEDULE | | | | | | | | | | | | |
|---|-----|-------------------|--------|--------|----------|--------|---------|-----------------|-----------|------|---|--|
| NO | QTY | LOCATION | WIDTH | HEIGHT | AREA | MANUF. | U-VALUE | DOOR TYPE | OPERATION | SG | COMMENTS | |
| 01 | 2 | BONUS ROOM | 12'-0" | 8'-0" | 192 SF | TBD | 0.28 | SLIDING GLASS | OXXO | Yes | ALL GLAZING DOORS, TRANSOMS, AND SITESITES TO BE SAFETY GLASS | |
| 02 | 2 | CRAWL SPACE HATCH | 3'-0" | 3'-0" | 18 SF | TBD | 0.28 | FLUSH SWINGING | X | No | INSULATE TO R-21 (WALL) | |
| 04 | 2 | EXTERIOR STORAGE | 6'-0" | 8'-0" | 96 SF | TBD | 0.28 | FLUSH SWINGING | XX | No | | |
| 06 | 1 | ENTRY | 4'-0" | 8'-0" | 32 SF | TBD | 0.28 | PIVOT | X | Yes | ALL GLAZING DOORS, TRANSOMS, AND SITESITES TO BE SAFETY GLASS | |
| 07 | 1 | GARAGE | 16'-0" | 7'-0" | 112 SF | TBD | 0.28 | OVERHEAD GARAGE | X | Yes | ALL GLAZING DOORS, TRANSOMS, AND SITESITES TO BE SAFETY GLASS | |
| 08 | 1 | GARAGE | 2'-10" | 7'-0" | 19.8 SF | TBD | 0.28 | FLUSH SWINGING | X | No | 20-MIN INSULATED FIRE RATED W/SELF-CLOSER | |
| Exterior Door Total: 9 | | | | | 469.8 SF | | | | | | | |
| TOTAL EXTERIOR DOOR AREA: 469.8-112= 357.8 SF | | | | | | | 0.28 | | | UA = | 100.18 | |

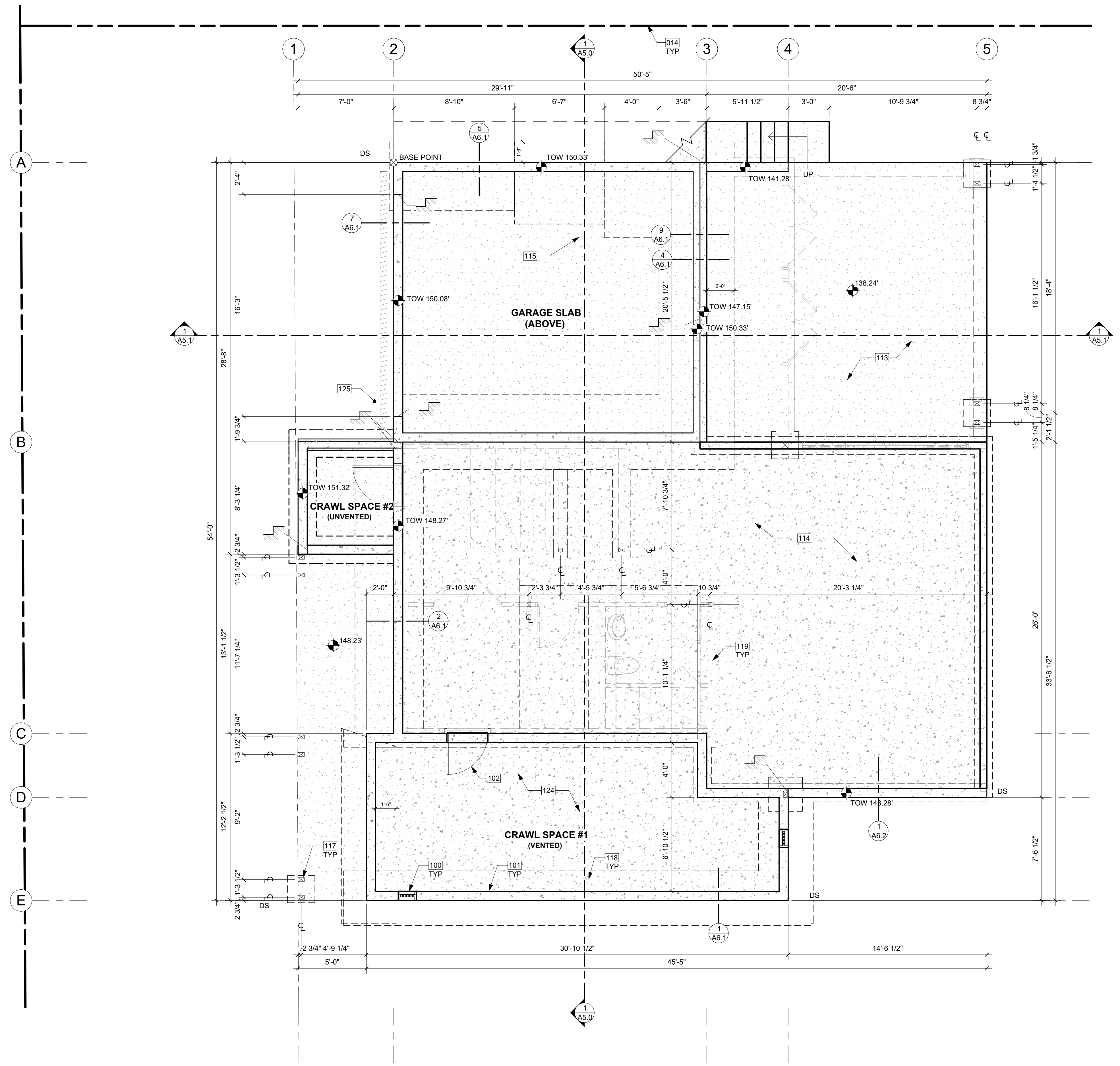
| INTERIOR DOOR SCHEDULE | | | | | | | | | | | | |
|-------------------------|-----|------------|-------|--------|--------|-----------------------------|----------|--|--|--|--|--|
| NO | QTY | LOCATION | WIDTH | HEIGHT | MANUF. | DOOR TYPE | COMMENTS | | | | | |
| 03 | 1 | MECH | 3'-0" | 8'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 05 | 3 | VARIOUS | 2'-6" | 8'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 06 | 1 | STORAGE | 5'-0" | 8'-0" | TBD | DOUBLE SOLID SWINGING FLUSH | | | | | | |
| 09 | 1 | COAT | 4'-0" | 8'-0" | TBD | DOUBLE SOLID SWINGING FLUSH | | | | | | |
| 10 | 1 | DINING | 3'-0" | 8'-0" | TBD | SURFACE SOLID SLIDER | | | | | | |
| 11 | 1 | CLOSET | 6'-0" | 8'-0" | TBD | DOUBLE SOLID SLIDER | | | | | | |
| 12 | 1 | VARIOUS | 2'-8" | 8'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 13 | 1 | VARIOUS | 2'-8" | 7'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 14 | 1 | PANTRY | 3'-0" | 8'-0" | TBD | SOLID SINGLE POCKET | | | | | | |
| 15 | 1 | PRIMARY WC | 2'-6" | 7'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 16 | 2 | VARIOUS | 2'-8" | 7'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 17 | 4 | VARIOUS | 2'-6" | 7'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 18 | 2 | VARIOUS | 3'-0" | 7'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 19 | 1 | HALLWAY | 2'-0" | 7'-0" | TBD | SOLID SWINGING FLUSH | | | | | | |
| 20 | 1 | BATH 02 | 2'-6" | 7'-0" | TBD | SOLID SINGLE POCKET | | | | | | |
| Interior Door Total: 22 | | | | | | | | | | | | |



NOTE: DOOR HEADER TO ALIGN WITH ADJACENT WINDOW HEADER

SCHEDULES NOTES

- GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS AND EXTERIOR DOORS SHOWING COMPLIANCE WITH THE 2018 WASHINGTON STATE ENERGY CODE.
- OPERATION SHOWN ON SCHEDULE IS GENERIC. WINDOW AND DOOR OPERATION PER ELEVATIONS.
- ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH.
- ALL WINDOWS AND GLAZING IN DOORS TO BE NFRC CERTIFIED AND LABELED.
- DIMENSIONS INDICATE NOMINAL SIZE. ROUGH OPENING PER MANUFACTURER RECOMMENDATIONS.
- SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN IRC R308.4 AND SHALL BEAR A MANUFACTURER'S DESIGNATION THAT IS VISIBLE AT FINAL INSTALLATION. SAFETY GLASS ON ELEVATIONS IS INDICATED WITH "SG".
- VERIFY ALL DOOR AND WINDOW TYPES & HARDWARE W/ OWNER PRIOR TO ORDERING.
- ALL EXTERIOR DOOR AND WINDOW FRAMES TO BE METAL. VERIFY W/ OWNER.
- EMERGENCY EGRESS AND RESCUE OPENINGS SHALL MEET THE REQUIREMENTS OF IRC SECTION R310.
- ALL DOORS STANDARD JAMB DIMENSION 4-1/2" FROM HINGE TO ADJACENT FRAMING UNLESS OTHERWISE NOTED.
- SURFACE SLIDER DOOR PANELS TO BE 6" WIDER AND 2" TALLER THAN THEIR OPENING.
- WINDOW FALL PROTECTION IS REQUIRED WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW IS LOCATED LESS THAN 24" ABOVE THE ADJACENT FINISHED FLOOR AND MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW ON THE EXTERIOR OF THE BUILDING.
- WHERE WINDOW FALL PROTECTION IS REQUIRED, WINDOW OPENING CONTROL DEVICES SHALL BE PROVIDED PER IRC R312.2, IN COMPLIANCE WITH ASTM F2090.
- WHERE WINDOW FALL PROTECTION IS PROVIDED, OPENING CONTROL DEVICES SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF WINDOW UNITS THAT SERVE AS EMERGENCY EGRESS AND RESCUE OPENINGS.



FOUNDATION PLAN 1
1/4" = 1'-0"

KEY NOTES

| | |
|-----|---|
| 014 | PROPOSED PROPERTY LINE |
| 100 | 16"x8" CRAWL SPACE VENT AND PREFABRICATED GALVANIZED VENT WELLS AS REQUIRED TO ENSURE AIR FLOW PER IRC SECTION 408.1 AND WITH BAFFLES TO ENSURE UNOBSTRUCTED VENT AREA, TYP. ENSURE VENTS ARE NOT IN CONFLICT WITH STRUCTURAL FLOOR FRAMING OR HOLD-DOWNS. BAR GRATING ON TOP AS NECESSARY. |
| 101 | STEMWALL & FOOTING PER STRUCTURAL. |
| 102 | CRAWL SPACE ACCESS PER R408.4. PERIMETER WALL 16"x24" MIN. OPENING WITH R-21 INSULATION. |
| 113 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. EXTERIOR SLABS TO RECEIVE BROOM FINISH AND TO SLOPE 1/4" PER FOOT AWAY FROM BUILDING. |
| 114 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER VAPOR BARRIER (6 MIL MIN. OR PER GEOTECH &/OR ENVELOPE CONSULTANT) OVER CONTINUOUS R-10 RIGID INSULATION OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. |
| 115 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. |
| 117 | POSTS AND PLINTH PER STRUCTURAL. |
| 118 | DASHED LINE OF FOOTINGS PER STRUCTURAL, TYP. |
| 119 | DASHED LINE OF WALLS ABOVE, TYP. |
| 124 | CRAWLSPACE FOUNDATION PER STRUCTURE. 18" MIN CRAWLSPACE W/ 6 MIL BLACK VAPOR BARRIER, CLASS 1 VAPOR RETARDER OVER GRADE AND UP STEM WALLS. |
| 125 | TRENCH DRAIN ABOVE PER CIVIL. |

CRAWL SPACE VENTILATION

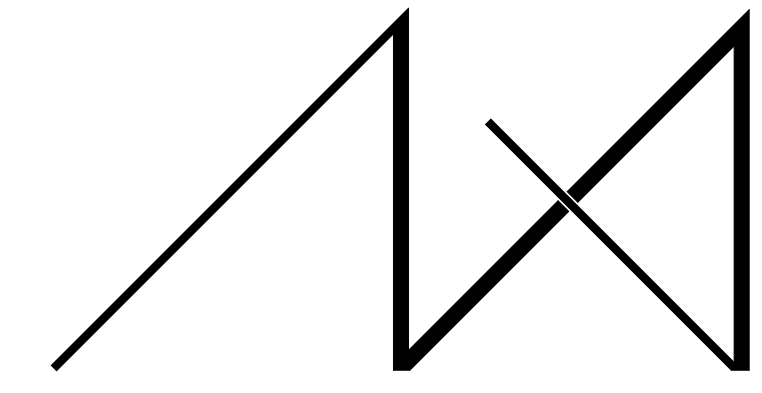
| | |
|---|--|
| CS #1 AREA= | 297.43 SF |
| CS #1 VENTILATION REQUIRED: (297.43 SF x 144 SI) / 300 = | 142.77 SI |
| USE: | 16"x8" FOUNDATION VENTS |
| CS #1 NET VENT AREA = | 98.0 SI (-25%) = 73.5 SI |
| VENTS REQUIRED = | 142.77 SI / 73.5 SI = 2 VENTS |
| CS #1 PROVIDE: | (2) 16"x8" VENTS = 147 SI |
| CS #1 TOTAL MIN. VENTILATION PROVIDED = 147 SI IS GREATER THAN 142.77 REQ. | |
| NOTE: IF VENTILATION IS REDUCED TO 1 SI/1500 SF, A CLASS 1 VAPOR RETARDER SHALL BE PROVIDED OVER ENTIRE GROUND SURFACE AND A RADON VENT SHALL BE INSTALLED, PER IRC R408.2. | |
| CS #2 VENTILATION REQUIRED: | N/A - UNVENTED, SEE GENERAL FOUNDATION NOTES |

FOUNDATION PLAN NOTES

- FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER, AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.
- REFER TO STRUCTURAL PLANS FOR ALL FRAMING & FOUNDATION INFORMATION.
- ALL IMPERVIOUS SURFACES TO BE GRADED TO SLOPE AND DRAIN AWAY FROM THE STRUCTURE MIN. 1/4" PER FOOT.
- UNVENTED CRAWL SPACES SHALL SATISFY IRC R408.3 WITH:
 - A CONTINUOUS CLASS I VAPOR RETARDER WITH JOINTS LAPPED BY 6" MINIMUM AND SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND AT LEAST 6" UP THE STEM WALL AND SHALL BE ATTACHED OR SEALED TO THE STEMWALL.
 - A RADON SYSTEM THAT MEETS THE REQ'S OF IRC APPENDIX F.
 - MECHANICAL VENTILATION AT A MIN. RATE OF 1 CFM PER 50 SQ. FT.

SYMBOL LEGEND

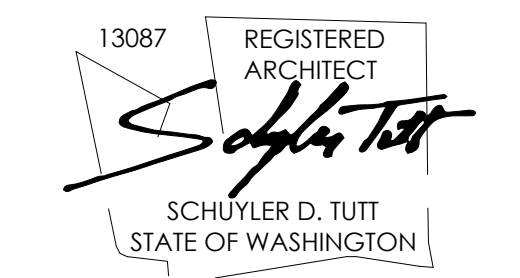
| | |
|--|--|
| | WALL ABOVE |
| | NEW DIAGRAMMATIC FOUNDATION WALL & FOOTING. VERIFY SIZE WITH STRUCTURAL. |
| | NEW SLAB ON GRADE |
| | POST AND PLINTH - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN |
| | TOW 119.12' TOP OF WALL ELEVATION |



MEDICI ARCHITECTS

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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

FOUNDATION PLAN

DRAWN BY: DRA
CHECKED BY: JML

PHASE:
CONSTRUCTION DRAWINGS

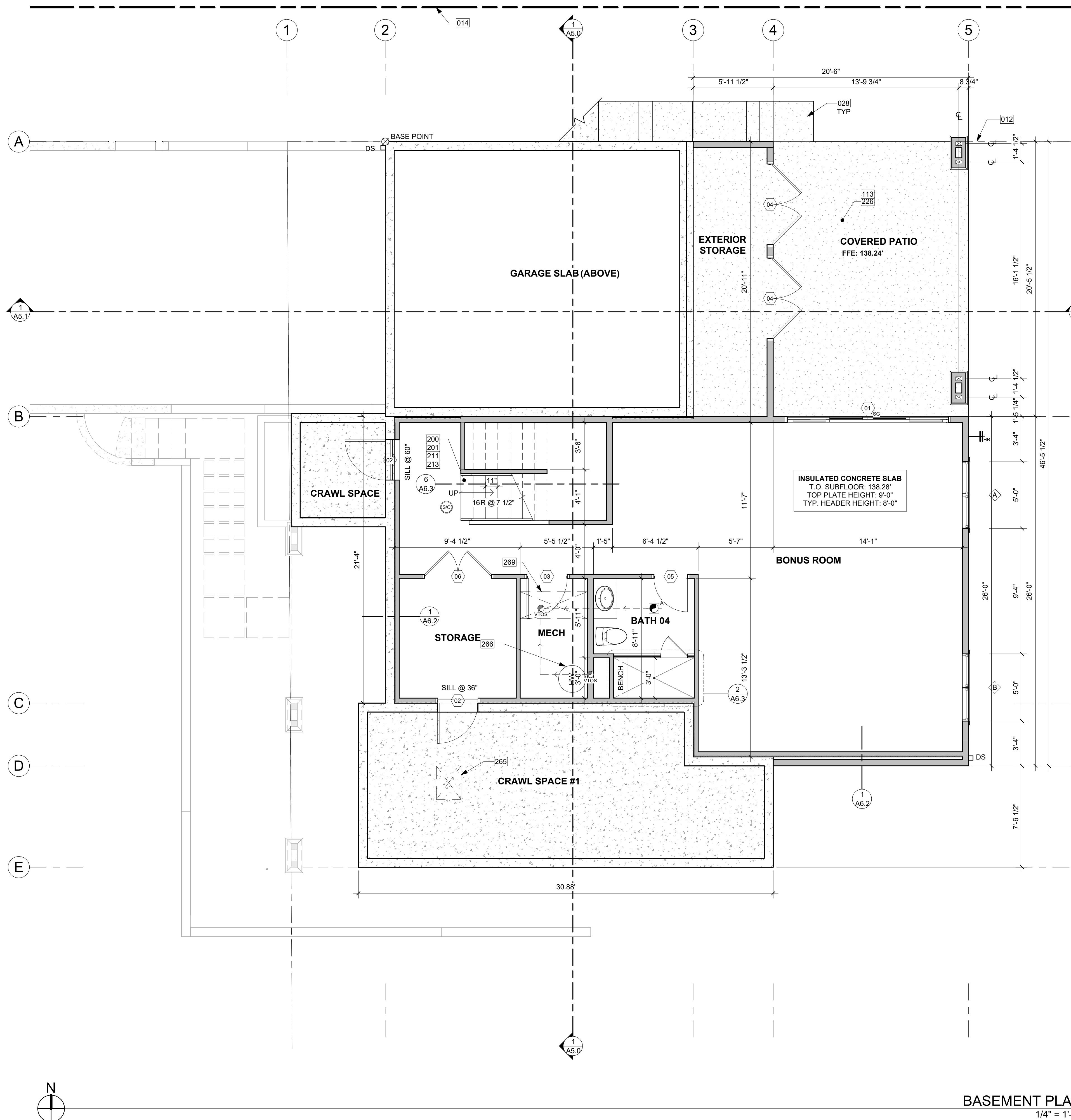
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APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087
DATE: 10/30/2023

A1.0

PLOT SCALE: 1:1



BASEMENT PLAN
1/4" = 1'-0" 1

KEY NOTES

| | |
|-----|--|
| 012 | SETBACK LINE |
| 014 | PROPOSED PROPERTY LINE |
| 028 | HARDSCAPE STEPS DRAWN DIAGRAMMATICALLY; TO FOLLOW SITE CONTOURS. |
| 113 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. EXTERIOR SLABS TO RECEIVE BROOM FINISH AND TO SLOPE 1/4" PER FOOT AWAY FROM BUILDING. |
| 200 | PROVIDE INTERIOR STAIRWAY ILLUMINATION PER IRC SECTION R303.7. STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATION LEVELS NOT LESS THAN 1 FOOT-CANDLE (1 LUX) AS MEASURED AT THE CENTER OF TREADS AND LANDINGS. |
| 201 | WOOD STAIR W/ TREADS AND RISERS CONFORMING TO IRC R311.7.5. SEE STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS. |
| 211 | HANDRAIL, WALL MOUNT. PER R311.7.8.2. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE OF THE STAIRWAY. PER R311.7.8.1. HANDRAILS HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FINISH SURFACE OF RAMP SLOPE, SHALL BE MIN. 34" AND MAX. 38". |
| 213 | GUARDRAIL, TOP OF WALL MOUNT - DEFERRED SUBMITTAL. MIN. HEIGHT 36" PER IRC SECTION R312.1.2. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAM. IRC SECTION R312.1.3 EXCEPTIONS: 1) THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE OF 6" IN DIAM. 2) GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAM. PER TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS - GUARDRAIL AND HANDRAIL 200 PER SQUARE FOOT. CONNECTIONS PER STRUCTURAL TYPICAL GUARDRAIL DETAILS. |
| 226 | TOP OF EXTERIOR SURFACE TO BE 1/2" LOWER THAN THE INTERIOR FLOOR, TYP. PER R311.3.1. FINISH FLOOR AT REQUIRED EGRESS DOORS SHALL BE NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD EXCEPT AT EXTERIOR LOCATION WHICH SHALL BE NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. |
| 265 | PLENUM ACCESS: MIN. 22"x30" PER IRC SECTION R807.1 |
| 266 | ENERGY STAR RATED GAS WATER HEATER WITH MINIMUM UEF OF 0.91. |
| 269 | DASHED LINE OF MECHANICAL CHASE ABOVE. |

HOUSE VENTILATION

PROVIDE WHOLE HOUSE VENTILATION PER M1505.4 USING LAUNDRY ROOM EXHAUST FAN PER 1505.4.1.2 (WA) AND TABLE 1505.4.3(1) & (3) (WA); PROVIDE CONTROLS PER 1505.4.2. COMPLY WITH WSEC R403.6

| SYMBOL | LOCATION | MINIMUM FAN REQUIREMENTS |
|--------|---------------|--|
| A | BATH & POWDER | MINIMUM LOCAL EXHAUST RATE TO BE 50 CFM (INTERMITTENT) |
| B | KITCHEN | MINIMUM LOCAL EXHAUST RATE TO BE 100 CFM (INTERMITTENT) PROVIDED BY RANGE HOOD OR DOWN DRAFT EXHAUST FAN, PER M1503.2 IF OVER 400 CFM, MAKEUP AIR IS REQUIRED IN THE SAME ROOM PER M1503.6** |
| C | LAUNDRY ROOM | MIN. 210 CFM (INTERMITTENT) - TO FUNCTION AND BE LABELED AS WHOLE HOUSE FAN (4-5 BEDROOMS 4501+6000 SF) TO OPERATE 50% OF TIME IN EACH 4-HOUR SEGMENT. |

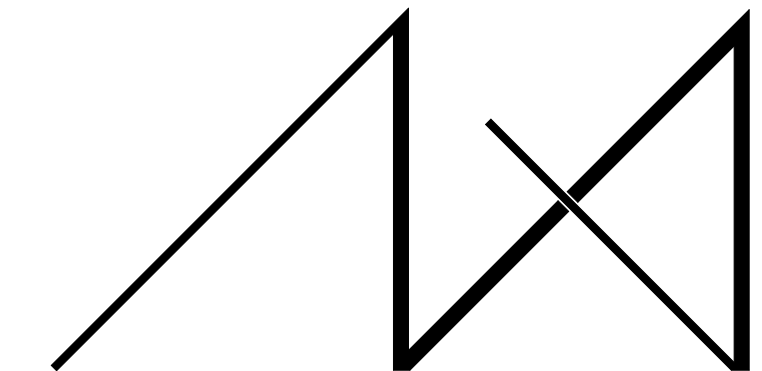
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FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR ALL POSTS, BEAMS AND HEADERS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" FROM CORNER TYP., U.N.O.
- SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLDDOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS:
 - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
 - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
 - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
- LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.
- FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH). DEPTH OF FOOTINGS TO BE DETERMINED BY STRUCTURAL ENGINEER. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR. STOP WORK IF RECOMMENDED EXCAVATION CUT OR BEARING SOIL CHANGES OCCUR IN EITHER HORIZONTAL OR VERTICAL DIRECTION AND NOTIFY IMMEDIATELY THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER. AT WHICH POINT THE ENGINEERS SHALL DETERMINE CAUSE OF DISPLACEMENT AND DEVELOP AND IMPLEMENT REMEDIAL MEASURES.

SYMBOL LEGEND

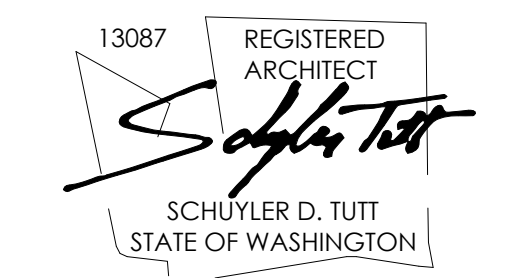
SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.



MEDICI ARCHITECTS

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 200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

BASEMENT PLAN

DRAWN BY: DRA
CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

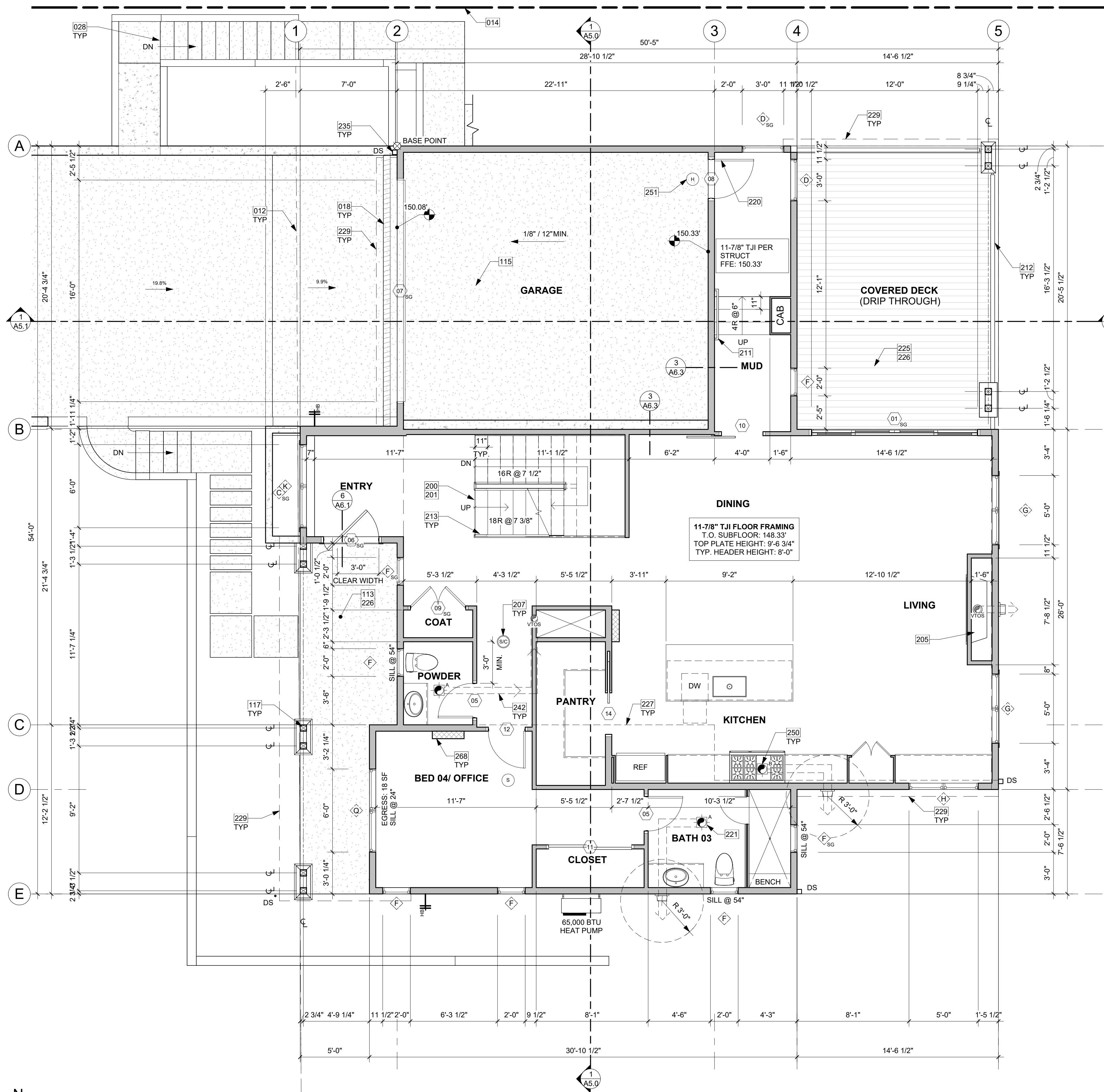
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APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087
DATE: 10/30/2023

A2.0

PLOT SCALE: 1:1



1ST FLOOR PLAN
1/4" = 1'-0" 1

KEY NOTES

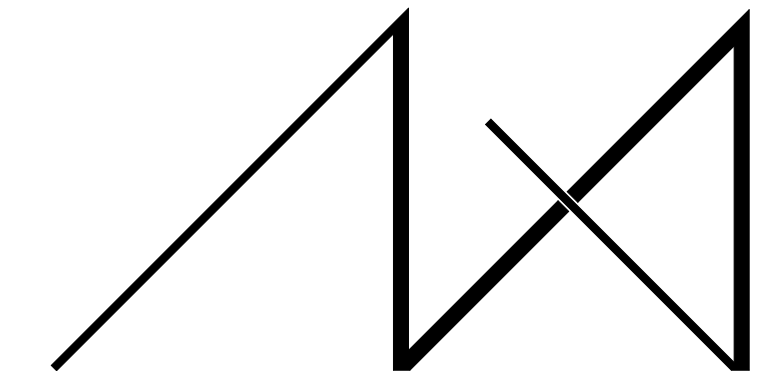
| | |
|---|---|
| 012 | SETBACK LINE |
| 014 | PROPOSED PROPERTY LINE |
| 018 | TRENCH DRAIN: SEE DETAILS AND CIVIL |
| 028 | HARDSCAPE STEPS DRAWN DIAGRAMMATICALLY: TO FOLLOW SITE CONTOURS. |
| 113 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. EXTERIOR SLABS TO RECEIVE BROOM FINISH AND TO SLOPE 1/4" PER FOOT AWAY FROM BUILDING. |
| 115 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. |
| 117 | POSTS AND FOOTING PER STRUCTURAL. |
| 200 | PROVIDE INTERIOR STAIRWAY ILLUMINATION PER IRC SECTION R303.7. STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATION LEVELS NOT LESS THAN 1 FOOT-CANDLE (11 LUX) AS MEASURED AT THE CENTER OF TREADS AND LANDINGS. |
| 201 | WOOD STAIR W/ TREADS AND RISERS CONFORMING TO IRC R311.7.5. SEE STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS. |
| 205 | GAS FIREPLACE: DIRECT VENT THROUGH WALL OR ROOF PER MANUFACTURER'S REQUIREMENTS. PER OWNER'S SELECTED UNIT. PER IRC SECTION R1004.2. FACTORY BUILT HEARTH EXTENSIONS FOR APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA. FRAMING CLEARANCES PER OWNER'S SELECTED UNIT. |
| 207 | SMOKE ALARM PER IRC SECTION R314.1 AND COMBINATION SMOKE & CARBON MONOXIDE ALARMS PER IRC SECTION R314.5. SHALL BE INSTALLED >3' FROM THE DOOR OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. |
| 211 | HANDRAIL, WALL MOUNT. PER R311.7.8.2. HANDRAILS SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE OF THE STAIRWAY. PER R311.7.8.1. HANDRAILS HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FINISH SURFACE OF RAMP SLOPE, SHALL BE MIN. 34" AND MAX. 38" |
| 212 | GUARDRAIL, FASCIA MOUNT - DEFERRED SUBMITTAL. MIN. HEIGHT 36" PER IRC SECTION R312.1.2. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAM. IRC SECTION R312.1.3 EXCEPTIONS: 1) THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE OF 6" IN DIAM. 2) GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAM. PER TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS - GUARDRAIL AND HANDRAIL, 200 PER SQUARE FOOT. CONNECTIONS PER STRUCTURAL TYPICAL GUARDRAIL DETAILS. |
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| 220 | 20 MIN. FIRE RATED DOOR W/ SELF CLOSER. INSULATED. |
| 221 | BATH FAN VENT THROUGH WALL PER MANUFACTURER REQUIREMENTS. |
| 225 | PT DECK FRAMING PER STRUCTURAL W/ 2x CEDAR DECKING. MAINTAIN 1/8" GAP BETWEEN DECKING MEMBERS. |
| 226 | TOP OF EXTERIOR SURFACE TO BE 1/2" LOWER THAN THE INTERIOR FLOOR, TYP. PER R311.3.1. FINISH FLOOR AT REQUIRED EGRESS DOORS SHALL BE NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD EXCEPT AT EXTERIOR LOCATION WHICH SHALL BE NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. |
| 227 | SHORT DASHED LINE OF BUILDING BELOW. |
| 229 | LONG DASHED LINE OF ROOF ABOVE. |
| 235 | 3" SQUARE DOWNSPOUT. TIGHTLINE ALL DOWNSPOUTS TO STORMWATER DRAWINGS, TYP. |
| HOUSE VENTILATION | |
| 228 PROVIDE CODE FROM SECTION R303.7 PER STRUCTURAL REQUIREMENTS. EXHAUST FAN FOR KITCHEN AND GARAGE PER IRC SECTION R303.7 AND CONTRIBUTED PER R311.7.5 W/ WSEC R403.6 | |
| 228 | HATCHED REGION SHOWS MINI-SPLIT HEAD. TO BE INSTALLED IN ALL LIVING SYMBOLS |
| A | BATH & POWDER MINIMUM LOCAL EXHAUST RATE TO BE 50 CFM (INTERMITTENT) |
| B | KITCHEN MINIMUM LOCAL EXHAUST RATE TO BE 100 CFM (INTERMITTENT) PROVIDED BY RANGE HOOD OR DOWN DRAFT EXHAUST FAN, PER M1503.2 IF OVER 400 CFM, MAKEUP AIR IS REQUIRED IN THE SAME ROOM PER M1503.6** |
| C | LAUNDRY ROOM MIN. 210 CFM (INTERMITTENT) - TO FUNCTION AND BE LABELED AS WHICHE HOUSE FAN (4-5 BEDROOMS 4501-6000 SF) TO OPERATE 50% OF TIME IN EACH 4-HOUR SEGMENT. |
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FLOOR PLAN NOTES

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- DOOR JAMB 4.5" FROM CORNER TYP., U.N.O.
- SEE SHEETS A0.3, A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
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- INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTOR:
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SYMBOL LEGEND

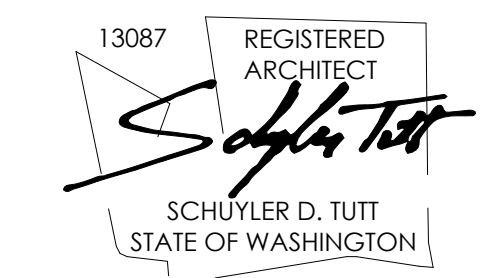
SEE TITLE SHEET A0.0 FOR COMPLETE SYMBOL INDEX.



MEDICI ARCHITECTS

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200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
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PROJECT / CLIENT:

2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:

2436 74TH AVE SE MERCER ISLAND, 98040

DRAWING NAME:

1ST FLOOR PLAN

DRAWN BY: DRA

CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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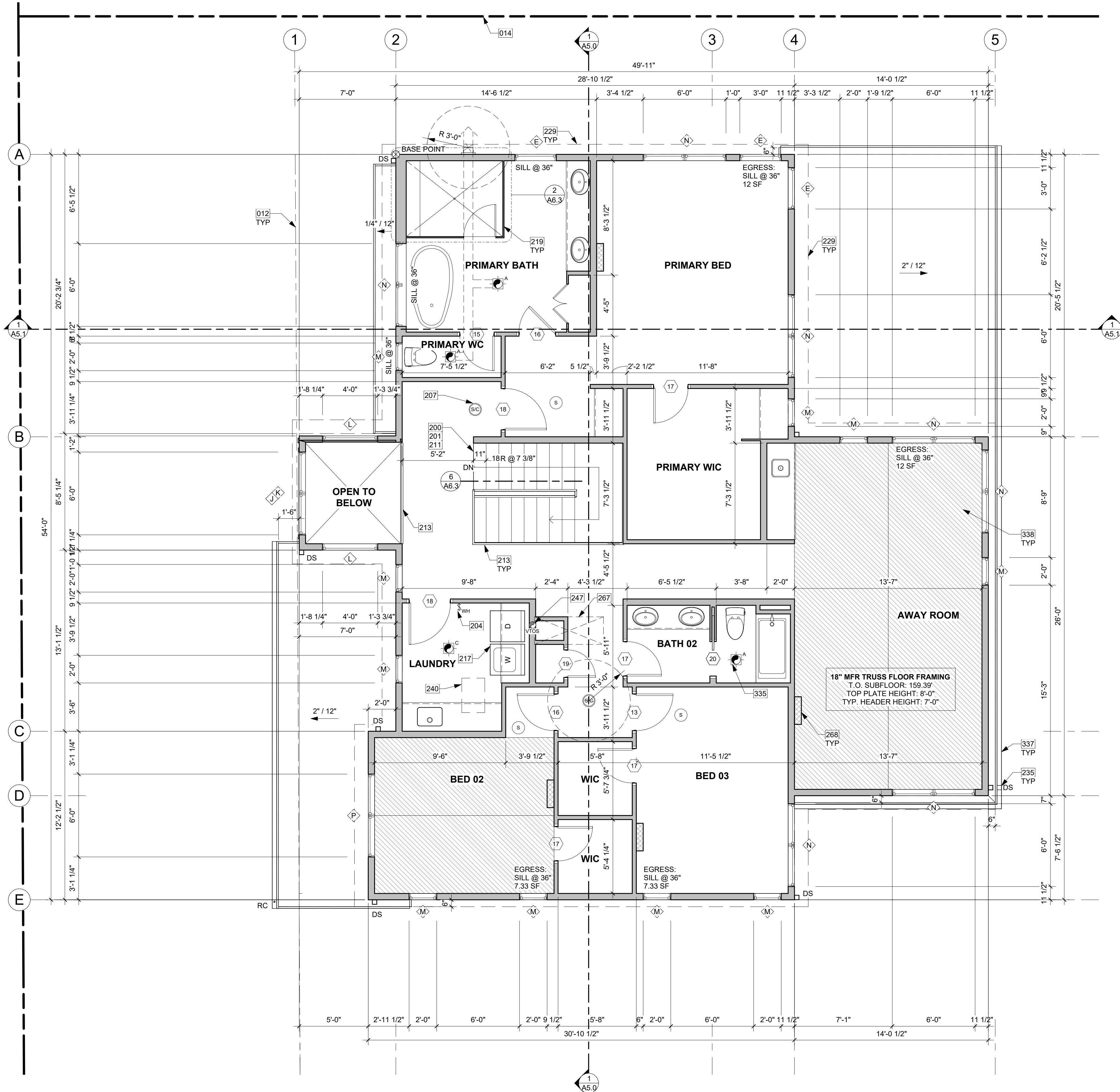
APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087

DATE: 10/30/2023

A2.1

PLOT SCALE: 1:1



2ND FLOOR PLAN
1/4" = 1'-0" 1

KEY NOTES

- 012 SETBACK LINE
- 014 PROPOSED PROPERTY LINE
- 200 PROVIDE INTERIOR STAIRWAY ILLUMINATION PER IRC SECTION R303.7. STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATION LEVELS NOT LESS THAN 1 FOOT-CANDLE (11 LUX) AS MEASURED AT THE CENTER OF TREADS AND LANDINGS.
- 201 WOOD STAIR W/ TREADS AND RISERS CONFORMING TO IRC R311.7.5. SEE STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS.
- 204 A PROGRAMMABLE ELECTRONIC TIMER SWITCH OPERATES AN EXHAUST FAN FOR INTERMITTENT VENTILATION. MUST OPERATE AT LEAST 50% OF TIME IN EACH 4 HOUR SEGMENT PER IRC TABLE M1505.4.3(1) AND (3).
- 207 SMOKE ALARM PER IRC SECTION R314.1 AND COMBINATION SMOKE & CARBON MONOXIDE ALARMS PER IRC SECTION R314.5. SHALL BE INSTALLED >3' FROM THE DOOR OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20' HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
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- 217 WASHING AND DRYING MACHINES: PROVIDE FLOOR SAVER PAN WITH A TRAP SEAL PRIMER WHICH IS ACCESSIBLE FOR MAINTENANCE PER UPC 1007.1 UNDER WASHER WITH TIGHTLINE DRAIN TO SANITARY SEWER. PROVIDE DRYER BOX IN WALL FOR DRYER VENT TO PREVENT COMPROMISING DUCTWORK. VENT THROUGH ROOF. HTTP://WWW.FLOODSAVER.COM
- 219 SAFETY GLASS
- 229 LONG DASHED LINE OF ROOF ABOVE.
- 235 3" SQUARE DOWNSPOUT. TIGHTLINE ALL DOWNSPOUTS TO STORMWATER SYSTEM PER CIVIL ENGINEERING DRAWINGS. TYP.
- 240 ATTIC ACCESS: MIN. 22"x30" PER IRC SECTION R807.1
- 247 DRYER FAN VENT THROUGH ROOF PER MANUFACTURER REQUIREMENTS.
- 267 BASEMENT VENTILATION TO GO UP THROUGH MECHANICAL CHASE AND VENT OUT THROUGH ROOF.
- 268 HATCHED REGION SHOWS MINI-SPLIT HEAD, TO BE INSTALLED IN ALL LIVING AREAS.
- 335 FAN VENT THROUGH ROOF PER MANUFACTURER REQUIREMENTS.
- 337 3" GUTTER W/ SQUARE DOWNSPOUT. POWDER COATED COLOR TBD. TIGHTLINE DOWNSPOUTS TO STORMWATER SYSTEM PER CIVIL ENGINEERING DRAWINGS. TYP.
- 338 HATCHED AREA SHOWS VAULTED CEILING BELOW.

HOUSE VENTILATION

PROVIDE WHOLE HOUSE VENTILATION PER M1505.4 USING LAUNDRY ROOM EXHAUST FAN PER 1505.4.1.2 (WA) AND TABLE 1505.4.3(1) & (3) (WA); PROVIDE CONTROLS PER 1505.4.2. COMPLY WITH WSEC R403.6

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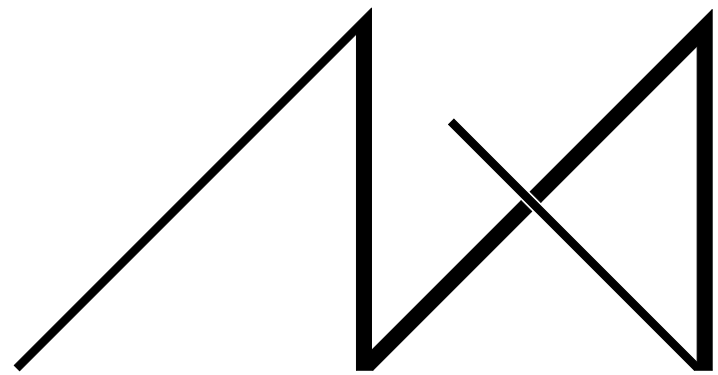
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8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
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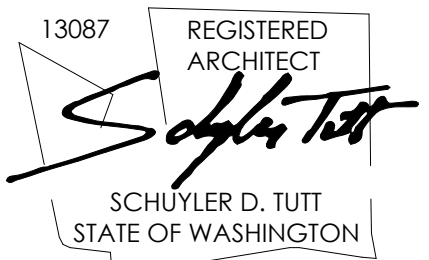
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REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
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PROJECT / CLIENT:
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LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

2ND FLOOR PLAN

DRAWN BY: DRA
CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

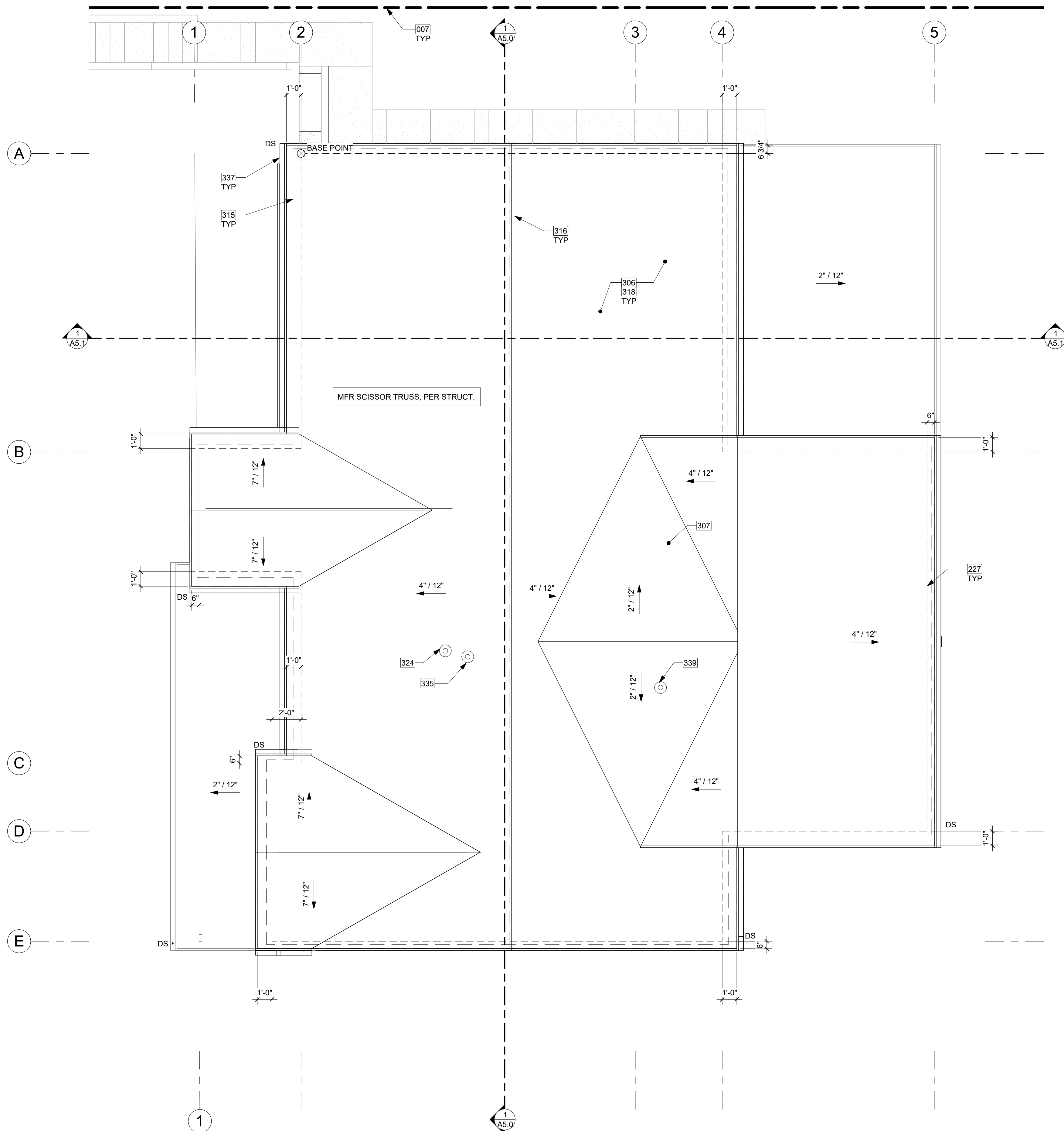
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APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087
DATE: 10/30/2023

A2.2

PLOT SCALE: 1:1



ROOF PLAN 1
1/4" = 1'-0"

KEY NOTES

| | |
|-----|--|
| 007 | EXISTING PROPERTY LINE |
| 227 | SHORT DASHED LINE OF BUILDING BELOW. |
| 306 | COMPOSITION SHINGLE ROOFING INSTALLED PER MANUFACTURER. PER R905.2.2. DOUBLE LAYER OF UNDERLAYMENT REQUIRED IF ROOF PITCH IS SHALLOWER THAN 4:12. |
| 307 | OVERFRAMED CRICKET. UNVENTED. SLOPE MINIMUM 1/4" PER 12". MINIMUM 1/4" OVERLAYMENT PROTECTION ROOF BOARD OVER POLYISO RIGID FOAM BOARD INSULATION. SOLID PACKED AND TAPERED TO ACHIEVE MINIMUM SLOPE TO DRAIN. INSTALL ROOFING MATERIAL OVER. PER MANUFACTURER'S RECOMMENDATION. |
| 315 | DASHED LINE INDICATES EAVE TO RECEIVE BLOCKING WITH (4) 2 1/2" VENTING HOLES PER 24" PROVIDING 7.35 S.I. OF VENTILATION PER LINEAR FOOT. SEE ROOF VENT TABLE. PENETRATIONS WITHIN 3' OF PROPERTY LINES MUST BE FIRE RATED AND COMPLY WITH SECTION R302.4. |
| 316 | DASHED LINE INDICATES CONTINUOUS RIDGE VENT PROVIDING 18 SQUARE INCHES OF VENTILATION PER LINEAR FOOT. SEE ROOF VENT TABLE |
| 318 | R-49 BATT INSULATION AT VENTED ROOF. SEE SECTIONS. BAFFLE INSULATION TO ENSURE 1" MIN. GAP FOR CROSS VENTILATION, TYP. |
| 324 | DRYER EXHAUST VENT THROUGH ROOF PER MANUFACTURER REQUIREMENTS. |
| 335 | FAN VENT THROUGH ROOF PER MANUFACTURER REQUIREMENTS. |
| 337 | 3" GUTTER W/ SQUARE DOWNSPOUT. POWDER COATED COLOR TBD. TIGHTLINE ALL DOWNSPOUTS TO STORMWATER SYSTEM PER CIVIL ENGINEERING DRAWINGS, TYP. |
| 339 | BATH VENT THROUGH ROOF PER MANUFACTURER REQUIREMENTS. |

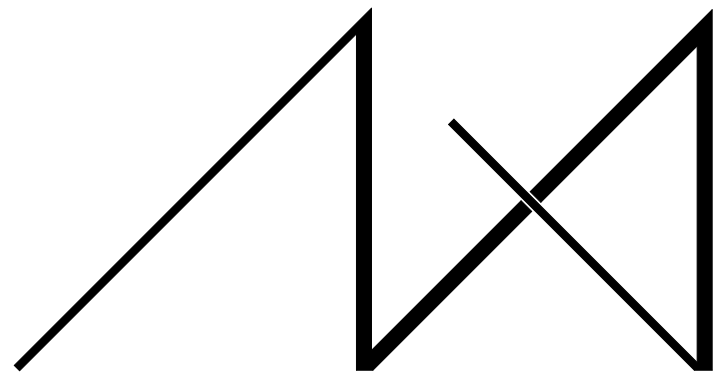
SYMBOL LEGEND

| | |
|-----|----------------|
| --- | RIDGE VENT |
| --- | EAVE VENT |
| --- | BUILDING BELOW |

ROOF VENTILATION

| | |
|-------------------------------------|--|
| ROOF #1 CONSTRUCTION: | MANUFACTURED TRUSSES |
| ROOF #1 AREA: | 2178.8 SF |
| ROOF #1 VENTILATION REQUIRED: | (2178.8 SF x 144 SI) / 150" = 2091.65 SI |
| PROPOSED VENTILATION: | |
| (4) 2-1/2" DIA. HOLES PER 24": | 9.8 SI / LF - 25% = 7.35 SI / LF |
| PROVIDE: | 198.72 LF EAVE VENTILATION = 1460.59 SI |
| 2" WIDE RIDGE VENT: | 18 SI / LF = 18 SI / LF |
| PROVIDE: | 55.23 LF RIDGE VENTILATION = 994.14 SI |
| ROOF #1 TOTAL VENTILATION PROVIDED: | = 2454.73 SI |

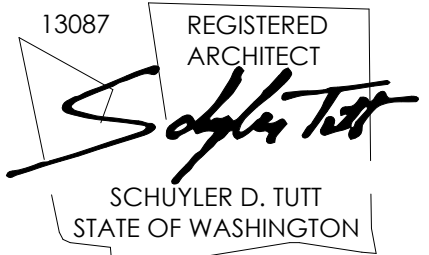
* PER IRC R806.2, MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA. AS AN ALTERNATIVE, THE NET FREE CROSS VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN BETWEEN 40-50% OF REQUIRED VENTILATION AREA IS LOCATED IN THE UPPER PORTION OF ROOF. PER IRC SECTION R806.2.2



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 200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

ROOF PLAN

DRAWN BY: DRA

CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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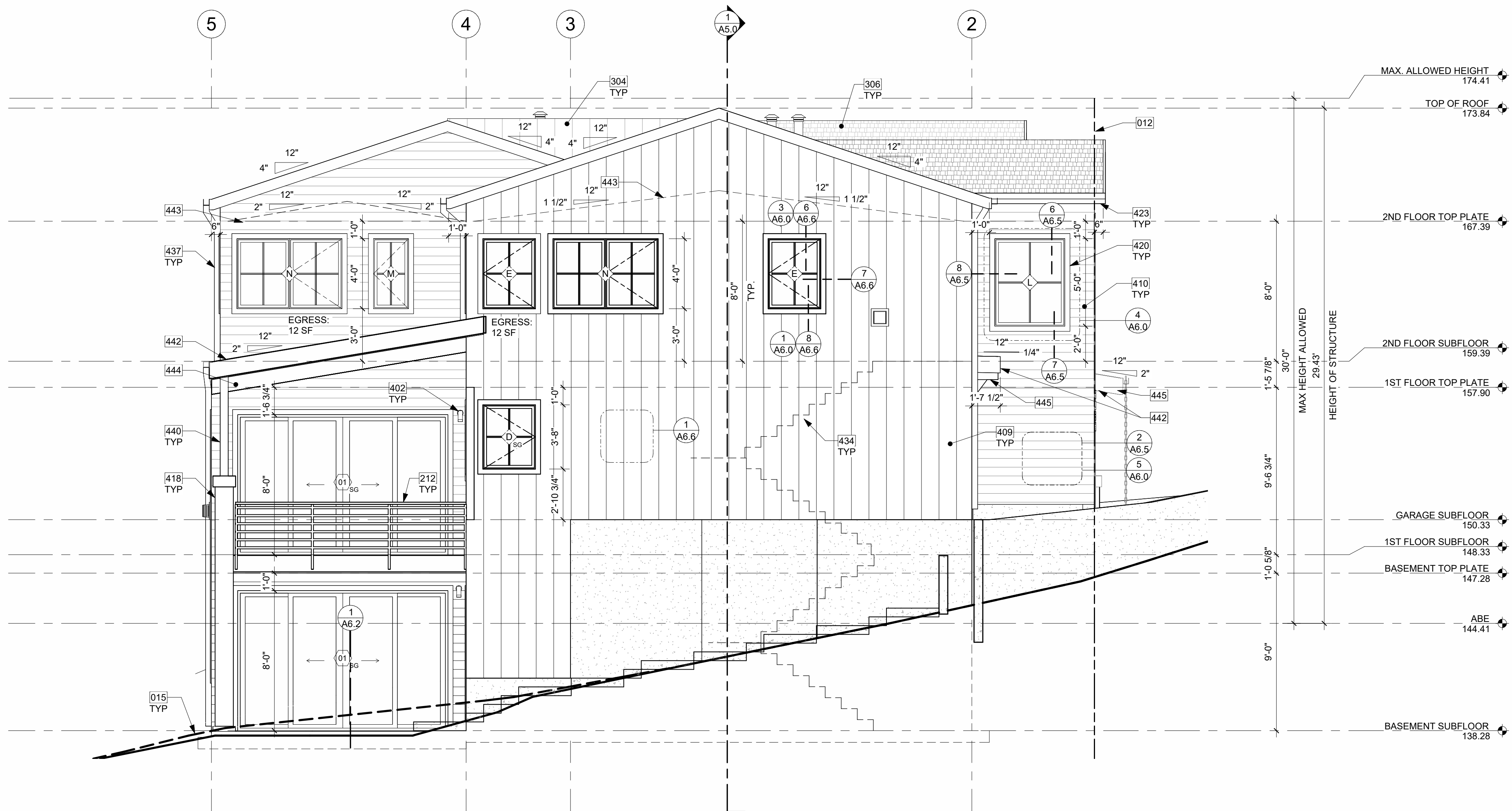
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A3.0

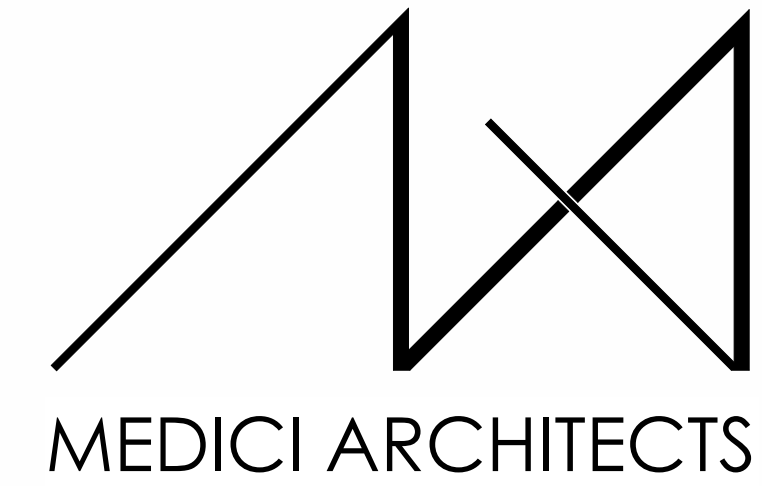
PLOT SCALE: 1:1



NORTH ELEVATION 1
1/4" = 1'-0"

KEY NOTES

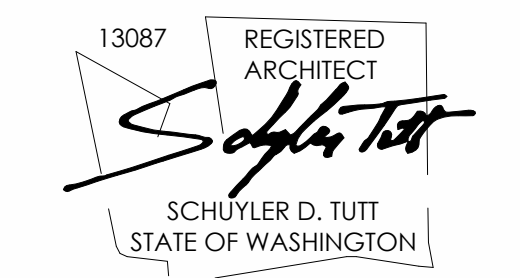
| | |
|-----|---|
| 012 | SETBACK LINE |
| 015 | DASHED LINE OF EXISTING GRADE |
| 212 | GUARDRAIL, FASCIA MOUNT - DEFERRED SUBMITTAL. MIN. HEIGHT 36" PER IRC SECTION R312.1.2. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAM. IRC SECTION R312.1.3 EXCEPTIONS: 1) THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE OF 6" IN DIAM. 2) GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAM. PER TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS - GUARDRAIL AND HANDRAIL 200 PER SQUARE FOOT. CONNECTIONS PER STRUCTURAL TYPICAL GUARDRAIL DETAILS. |
| 304 | METAL STANDING SEAM ROOF ASSEMBLY PER IRC SECTION R905.10. |
| 306 | COMPOSITION SHINGLE ROOFING INSTALLED PER MANUFACTURER. PER R905.2.2. DOUBLE LAYER OF UNDERLAYMENT REQUIRED IF ROOF PITCH IS SHALLOWER THAN 4:12. |
| 402 | LIGHTING @ ALL EXTERIOR DOORS INSTALLED PER MANUFACTURER, TYP. CENTER OF LIGHT SOURCE 6" FROM WALKING SURFACE OR IN SOFFIT. FIXTURES PER OWNER. |
| 409 | FIBER CEMENT PANEL (HARDIE) PANEL SMOOTH VERTICAL SIDING, OR SIMILAR RAINSCREEN PAINTED, COLOR TBD. NOTE: ALL HARDIE PANEL DIVISIONS TO ALIGN WITH ARCHITECTURAL FEATURES AS SHOWN, TYP. |
| 410 | FIBER CEMENT PLANK HORIZONTAL LAP SIDING WITH 6" EXPOSURE (HARDIE) PLANK SELECT CEDARMILL LAP SIDING, OR SIMILAR, PAINTED COLOR TBD. |
| 418 | MASONRY VENEER MECHANICALLY ATTACHED TO COLUMN AND INSTALLED PER MANUFACTURER RECOMMENDATION. COLOR AND PATTERN TBD. |
| 420 | HARDIE TRIM, PAINTED COLOR TBD. |
| 423 | FASCIA BOARD: 2x8 WITH POWDER COATED FLASHING, COLOR TBD. |
| 434 | DASHED LINE OF STAIRS. |
| 437 | SQUARE DOWNSPOUT. TIGHTLINE ALL DOWNSPOUTS TO STORMWATER SYSTEM PER CIVIL ENGINEERING DRAWINGS, TYP. |
| 440 | PT COLUMN PER STRUCTURE. |
| 442 | FASCIA BOARD: 2x12 WITH POWDER COATED FLASHING, COLOR TBD. |
| 443 | DASHED LINE OF VAULTED CEILING. |
| 444 | ARCHITECTURAL EXPOSED 2X10 WOOD RAFTERS, PAINT COLOR TBD. |
| 445 | ARCHITECTURAL EXPOSED 2X6 WOOD RAFTERS, PAINT COLOR TBD. |



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PROJECT / CLIENT:
 2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

ELEVATIONS

DRAWN BY: DRA
 CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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DATE: 10/30/2023

A4.0

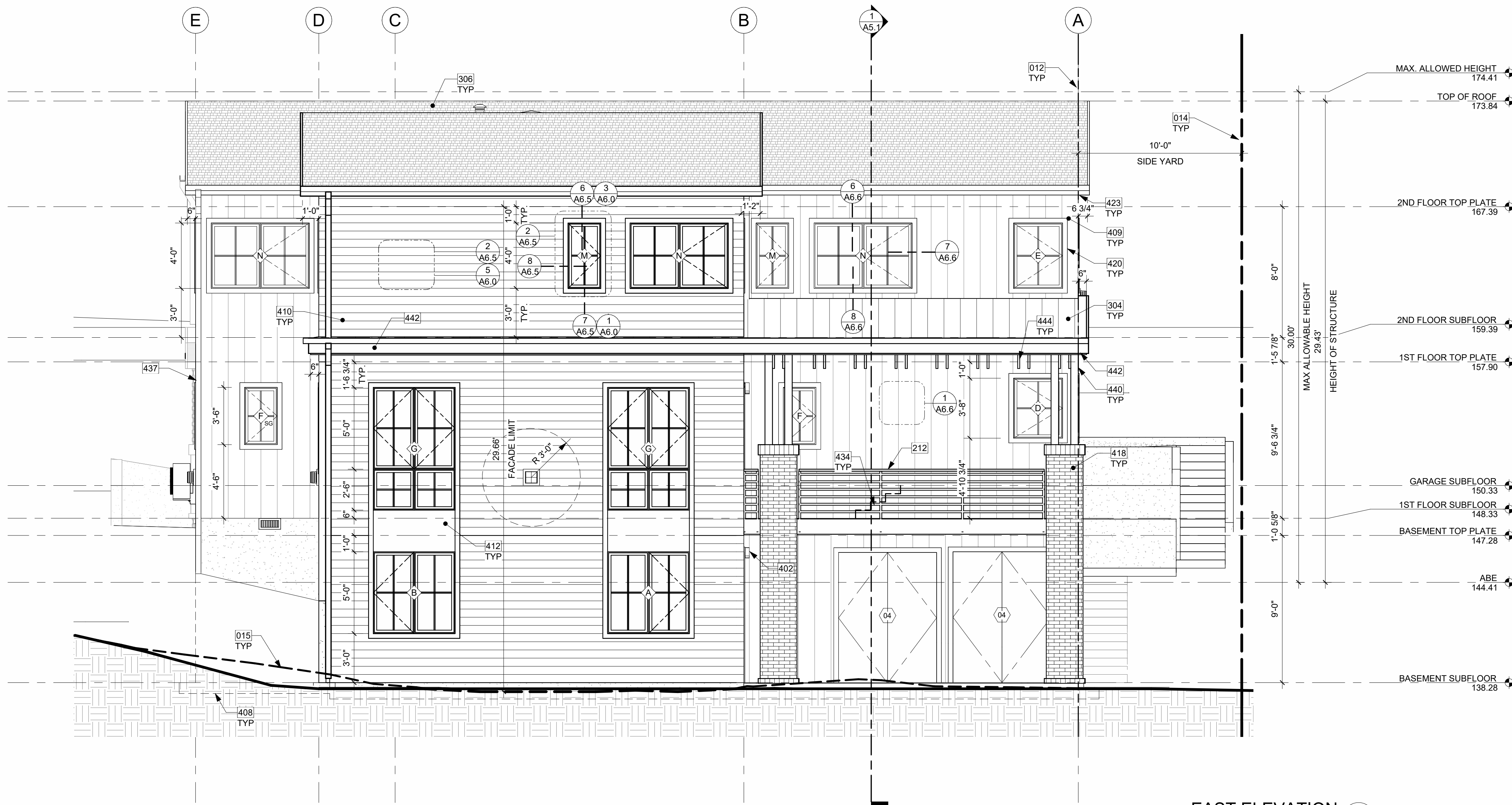
PLOT SCALE: 1:1



NORTH ELEVATION PERSPECTIVE
 NTS

ELEVATION NOTES

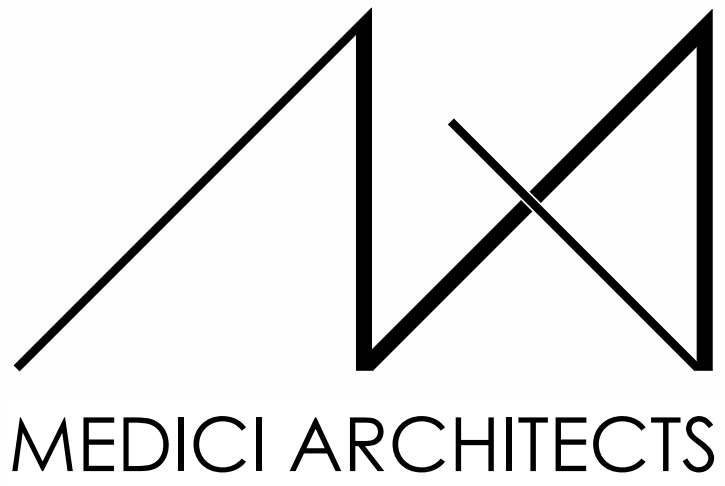
- VERIFY SHEAR WALL NAILING & HOLDINGS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING
- WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
- WEATHER PROTECTION. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHINGS AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED. PER IRC R703.8. FLASHING AT WALLS. FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
- PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R903.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CALL/UP ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.



EAST ELEVATION
1/4" = 1'-0" 1

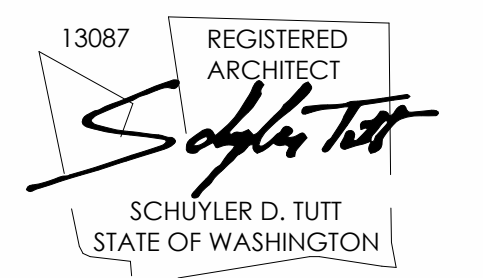
KEY NOTES

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|-----|---|
| 012 | SETBACK LINE |
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| 408 | DASHED LINES OF FOUNDATION STEMWALL AND FOOTING PER STRUCTURE. |
| 409 | FIBER CEMENT PANEL (HARDIEPANEL SMOOTH VERTICAL SIDING, OR SIMILAR) RAINSCREEN PAINTED, COLOR TBD. NOTE: ALL HARDIE PANEL DIVISIONS TO ALIGN WITH ARCHITECTURAL FEATURES AS SHOWN, TYP. |
| 410 | FIBER CEMENT PLANK HORIZONTAL LAP SIDING WITH 6" EXPOSURE (HARDIEPLANK SELECT CEDARMILL LAP SIDING, OR SIMILAR), PAINTED COLOR TBD. |
| 412 | IN-FILL FIBER CEMENT PANEL (HARDIEPANEL SMOOTH VERTICAL SIDING, OR SIMILAR) RAINSCREEN PAINTED TO MATCH WINDOW COLOR. |
| 418 | MASONRY VENEER MECHANICALLY ATTACHED TO COLUMN AND INSTALLED PER MANUFACTURER RECOMMENDATION. COLOR AND PATTERN TBD. |
| 420 | HARDIE TRIM, PAINTED COLOR TBD. |
| 423 | FASCIA BOARD: 2x8 WITH POWDER COATED FLASHING, COLOR TBD. |
| 434 | DASHED LINE OF STAIRS. |
| 437 | SQUARE DOWNSPOUT. TIGHTLINE ALL DOWNSPOUTS TO STORMWATER SYSTEM PER CIVIL ENGINEERING DRAWINGS, TYP. |
| 440 | PT COLUMN PER STRUCTURE. |
| 442 | FASCIA BOARD: 2x12 WITH POWDER COATED FLASHING, COLOR TBD. |
| 444 | ARCHITECTURAL EXPOSED 2X10 WOOD RAFTERS, PAINT COLOR TBD. |



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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

ELEVATIONS

DRAWN BY: DRA
 CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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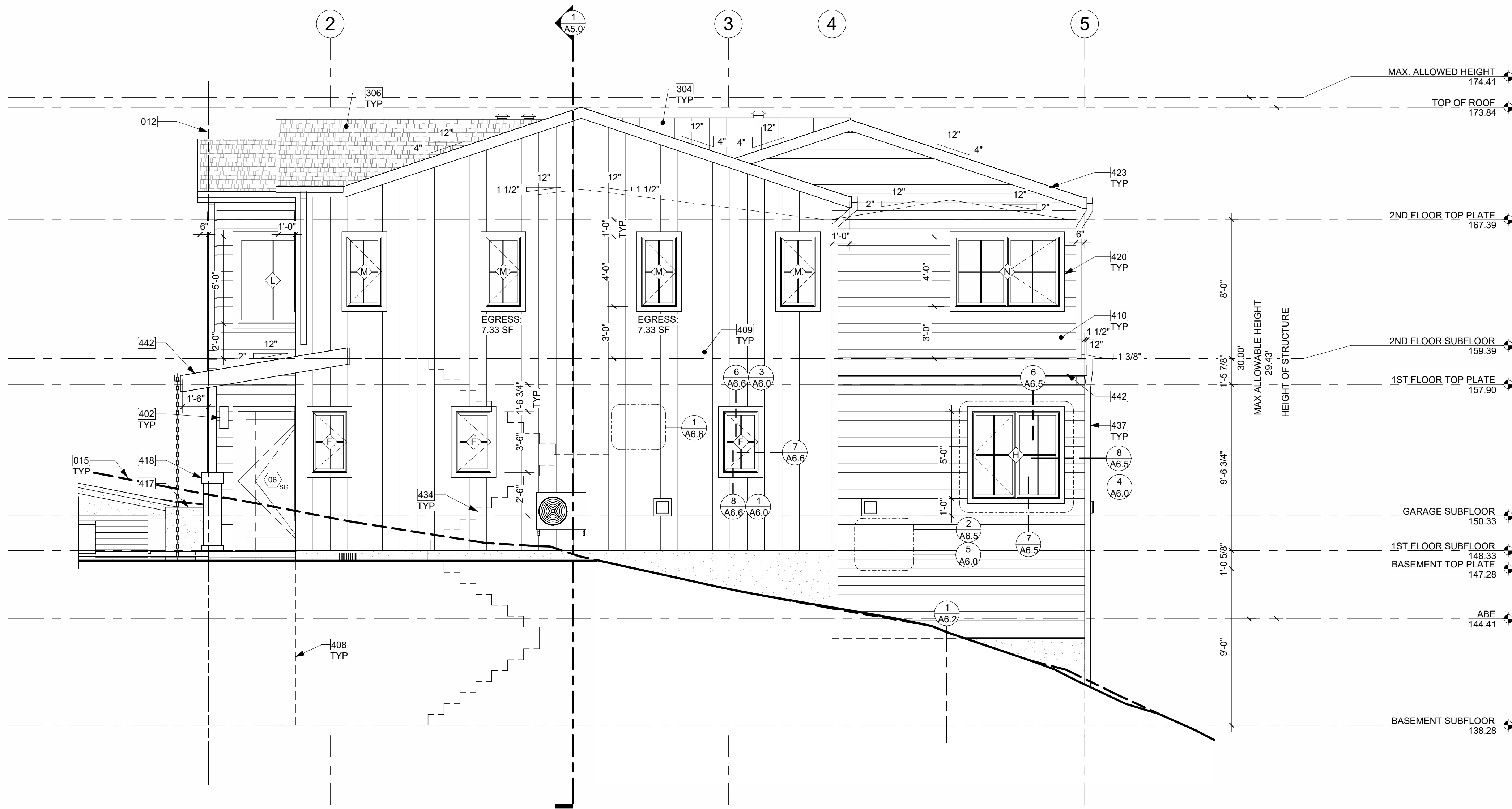
PLOT SCALE: 1:1



EAST ELEVATION PERSPECTIVE
NTS

ELEVATION NOTES

- VERIFY SHEAR WALL NAILING & HOLDINGS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
- WEATHER PROTECTION. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED.
- PER IRC R703.8. FLASHING AT WALLS. FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
- PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R903.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CALK ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.



SOUTH ELEVATION
1/4" = 1'-0" 1



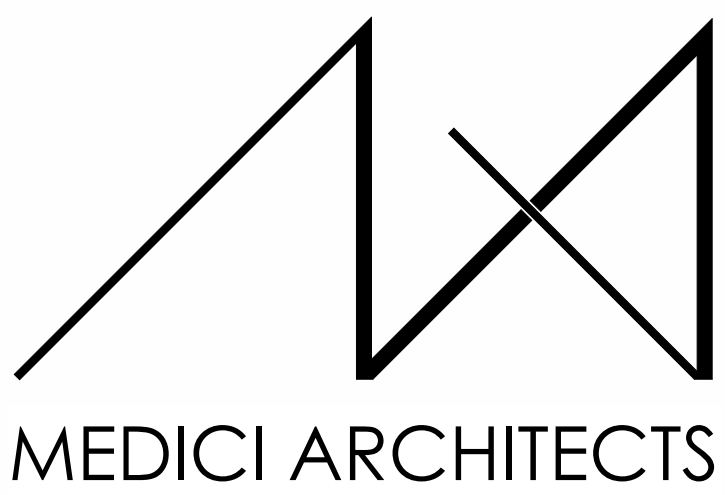
SOUTH ELEVATION PERSPECTIVE
NTS

ELEVATION NOTES

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- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
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- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.

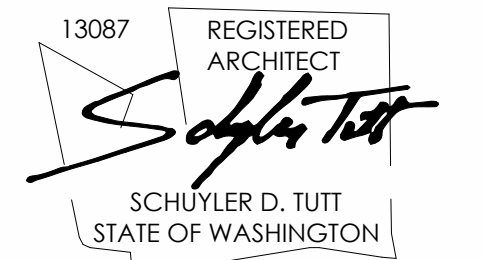
KEY NOTES

| | |
|-----|---|
| 012 | SETBACK LINE |
| 015 | DASHED LINE OF EXISTING GRADE |
| 304 | METAL STANDING SEAM ROOF ASSEMBLY PER IRC SECTION R905.10. |
| 306 | COMPOSITION SHINGLE ROOFING INSTALLED PER MANUFACTURER. PER R905.2.2. DOUBLE LAYER OF UNDERLAYMENT REQUIRED IF ROOF PITCH IS SHALLOWER THAN 4:12. |
| 402 | LIGHTING @ ALL EXTERIOR DOORS INSTALLED PER MANUFACTURER, TYP. CENTER OF LIGHT SOURCE 6" FROM WALKING SURFACE OR IN SOFFIT. FIXTURES PER OWNER. |
| 408 | DASHED LINES OF FOUNDATION STEMWALL AND FOOTING PER STRUCTURE. |
| 409 | FIBER CEMENT PANEL (HARDIEPANEL SMOOTH VERTICAL SIDING, OR SIMILAR) RAINSCREEN PAINTED, COLOR TBD. NOTE: ALL HARDIE PANEL DIVISIONS TO ALIGN WITH ARCHITECTURAL FEATURES AS SHOWN, TYP. |
| 410 | FIBER CEMENT PLANK HORIZONTAL LAP SIDING WITH 6" EXPOSURE (HARDIEPLANK SELECT CEDARMILL LAP SIDING, OR SIMILAR), PAINTED COLOR TBD. |
| 417 | EXPOSED ARCHITECTURAL CONCRETE. |
| 418 | MASONRY VENEER MECHANICALLY ATTACHED TO COLUMN AND INSTALLED PER MANUFACTURER RECOMMENDATION. COLOR AND PATTERN TBD. |
| 420 | HARDIE TRIM, PAINTED COLOR TBD. |
| 423 | FASCIA BOARD: 2x8 WITH POWDER COATED FLASHING, COLOR TBD. |
| 434 | DASHED LINE OF STAIRS. |
| 437 | SQUARE DOWNSPOUT. TIGHTLINE ALL DOWNSPOUTS TO STORMWATER SYSTEM PER CIVIL ENGINEERING DRAWINGS, TYP. |
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PROJECT / CLIENT:
 2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

ELEVATIONS

DRAWN BY: Author
 CHECKED BY: Checker

PHASE:

CONSTRUCTION DRAWINGS

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A4.2

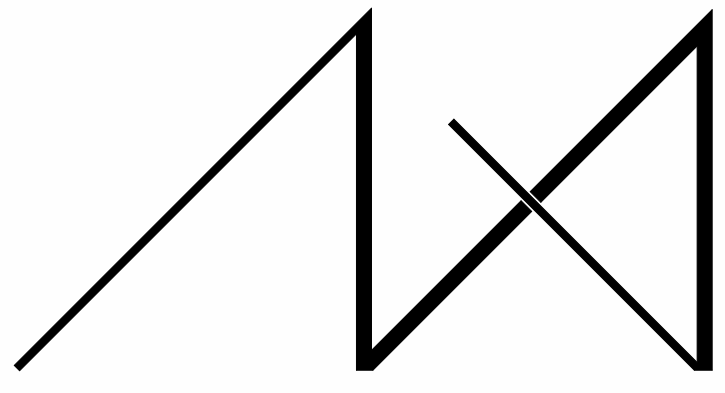
PLOT SCALE: 1:1



3 WEST ELEVATION 1
1/4" = 1'-0"

KEY NOTES

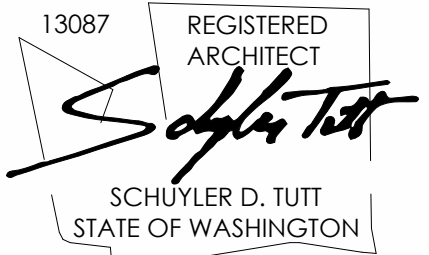
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|-----|---|
| 012 | SETBACK LINE |
| 014 | PROPOSED PROPERTY LINE |
| 015 | DASHED LINE OF EXISTING GRADE |
| 304 | METAL STANDING SEAM ROOF ASSEMBLY PER IRC SECTION R905.10. |
| 306 | COMPOSITION SHINGLE ROOFING INSTALLED PER MANUFACTURER. PER R905.2.2. DOUBLE LAYER OF UNDERLAYMENT REQUIRED IF ROOF PITCH IS SHALLOWER THAN 4:12. |
| 402 | LIGHTING @ ALL EXTERIOR DOORS INSTALLED PER MANUFACTURER. TYP. CENTER OF LIGHT SOURCE 6" FROM WALKING SURFACE OR IN SOFFIT. FIXTURES PER OWNER. |
| 404 | LOCATION OF HOUSE ADDRESS OR NUMBER TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. SIZE: 6". FONT: HELVETICA, COLOR: DARK BRONZE. |
| 409 | FIBER CEMENT PANEL (HARDIEPANEL SMOOTH VERTICAL SIDING, OR SIMILAR) RAINSCREEN PAINTED, COLOR TBD. NOTE: ALL HARDIE PANEL DIVISIONS TO ALIGN WITH ARCHITECTURAL FEATURES AS SHOWN, TYP. |
| 410 | FIBER CEMENT PLANK HORIZONTAL LAP SIDING WITH 6" EXPOSURE (HARDIEPLANK SELECT CEDARMILL LAP SIDING, OR SIMILAR), PAINTED COLOR TBD. |
| 415 | ALUMINUM 4" V GROOVE WOOD GRAIN SIDING RAINSCREEN PANEL (LONGBOARD, OR SIMILAR), TYP. |
| 418 | MASONRY VENEER MECHANICALLY ATTACHED TO COLUMN AND INSTALLED PER MANUFACTURER RECOMMENDATION. COLOR AND PATTERN TBD. |
| 437 | SQUARE DOWNSPOUT. TIGHTLINE ALL DOWNSPOUTS TO STORMWATER SYSTEM PER CIVIL ENGINEERING DRAWINGS, TYP. |
| 440 | PT COLUMN PER STRUCTURE. |
| 443 | DASHED LINE OF VAULTED CEILING. |



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REGISTRATION:



INTAKE DATE: 9/28/2023

| REVISIONS: | DATE: |
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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

ELEVATIONS

DRAWN BY: DRA
CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

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PROJECT No.: A22 087

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A4.3

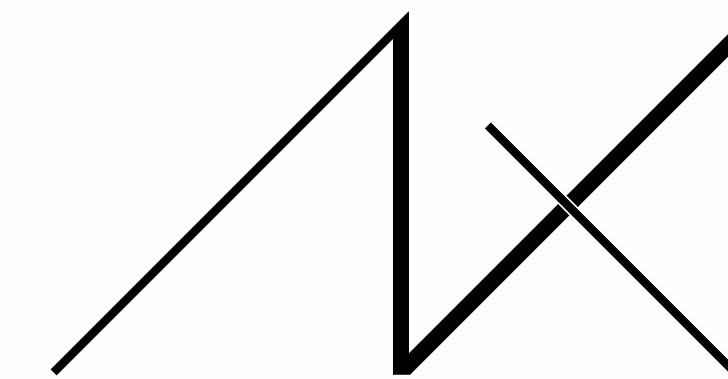
PLOT SCALE: 1:1



WEST ELEVATION PERSPECTIVE
NTS

ELEVATION NOTES

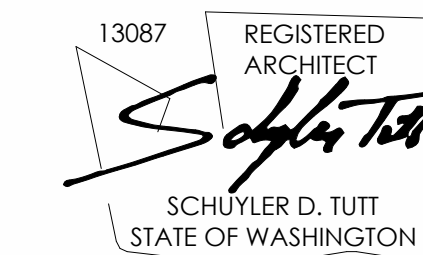
- VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- WOOD SIDING - SEAL & STAIN ALL SIDES BEFORE INSTALLING AND @ ALL CUTS.
- WEATHER PROTECTION. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AND BE CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED. PER IRC R703.8. FLASHING AT WALLS. FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT THAT MOISTURE TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM.
- PROVIDE FLASHING AT ROOF PENETRATIONS PER IRC R903.2.1. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT.
- PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS AT EAVES PER PLANS, TYP.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE DOORS. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- SEE GENERAL NOTES SHEET A0.3 FOR ADDITIONAL NOTES.



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A4.5



PERSPECTIVE 1
NTS



PERSPECTIVE 2
NTS

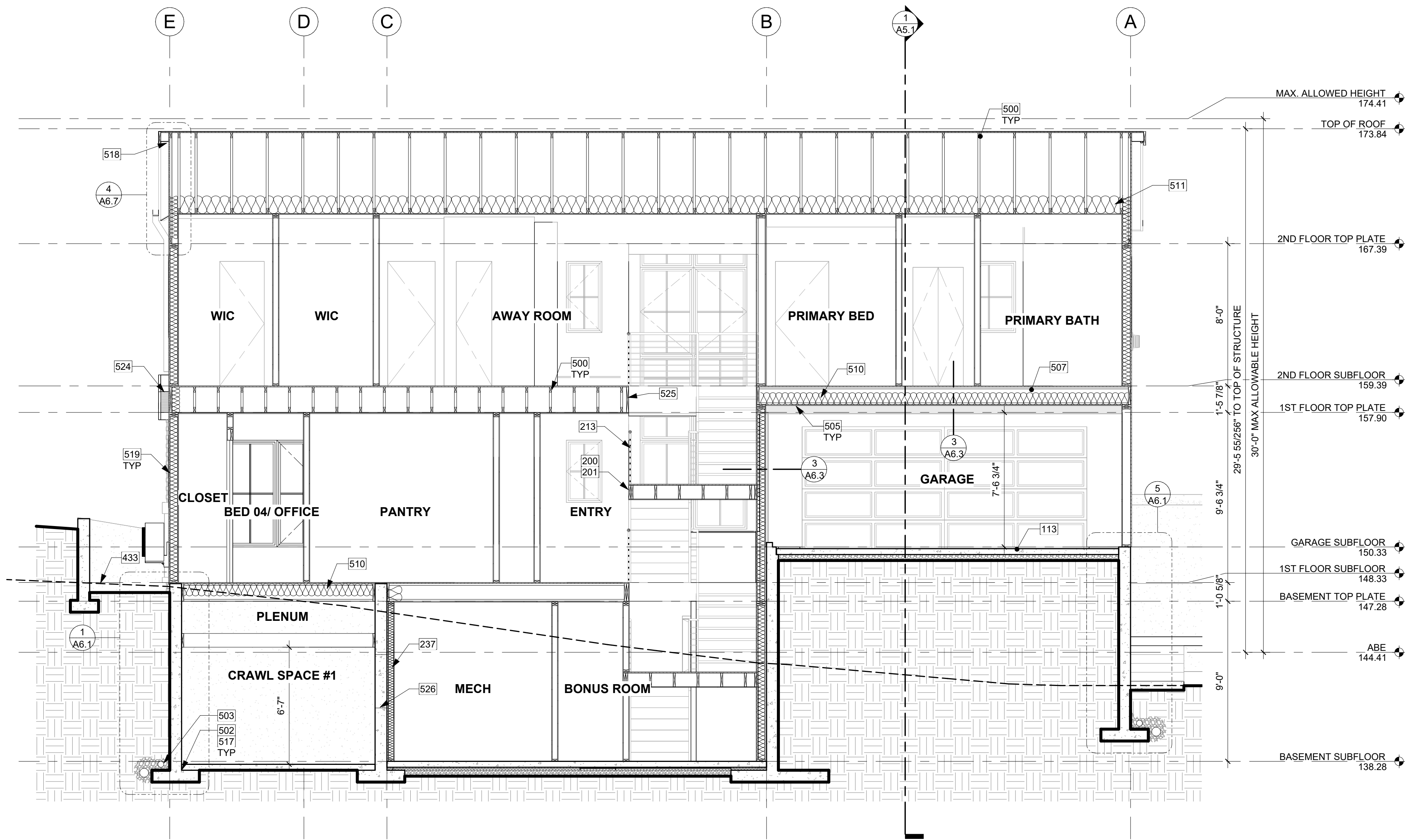


PERSPECTIVE 3
NTS



PERSPECTIVE 4
NTS

NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.



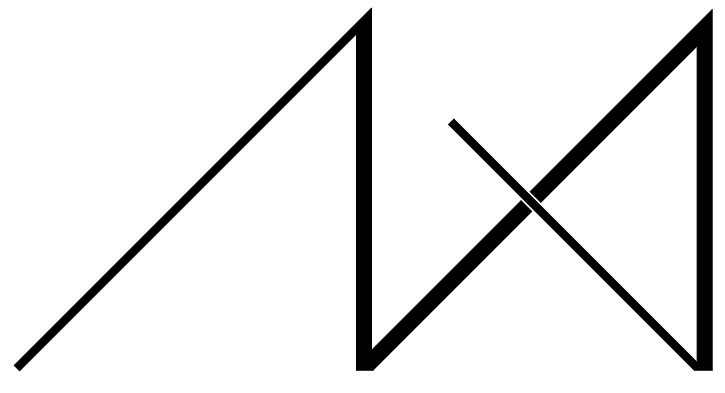
SECTION B
1/4" = 1'-0" 1

KEY NOTES

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| 113 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. EXTERIOR SLABS TO RECEIVE BROOM FINISH AND TO SLOPE 1/4" PER FOOT AWAY FROM BUILDING. |
| 200 | PROVIDE INTERIOR STAIRWAY ILLUMINATION PER IRC SECTION R303.7. STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE TO ILLUMINATE THE LANDINGS AND TREADS. THE LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATION LEVELS NOT LESS THAN 1 FOOT-CANDLE (1 LUX) AS MEASURED AT THE CENTER OF TREADS AND LANDINGS. |
| 201 | WOOD STAIR W/ TREADS AND RISERS CONFORMING TO IRC R311.7.5. SEE STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS. |
| 213 | GUARDRAIL, TOP OF WALL MOUNT - DEFERRED SUBMITTAL. MIN. HEIGHT 36" PER IRC SECTION R312.1.2. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAM. IRC SECTION R312.1.3 EXCEPTIONS: 1) THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE OF 6" IN DIAM. 2) GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAM. PER TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS - GUARDRAIL AND HANDRAIL 200 PER SQUARE FOOT. CONNECTIONS PER STRUCTURAL TYPICAL GUARDRAIL DETAILS. |
| 237 | FURRED 2x4 WALL W/ R-13 BATT INSULATION AND CONTINUOUS 1" R-5 RIGID INSULATION TO MEET THE REQUIREMENTS OF WSEC TABLE R402.1.1 FOOTNOTE C. STUDS AGAINST CONCRETE STEMWALL MUST BE PT OR MUST BE SEPARATED FROM THE WALL BY AN APPROVED VAPOR BARRIER. R-5 THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL. FIREBLOCKING TO BE INSTALLED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10', PER SECTION R-302.11. |
| 433 | DASHED LINE OF EXISTING GRADE. |
| 500 | TRUSS FRAMING PER STRUCTURAL PLAN. |
| 502 | FOUNDATION ANCHORAGE @ WALLS PER IRC SECTION R403.1.6. AND STRUCTURAL PLANS. PROVIDE A POLYETHYLENE FOAM GASKET STRIP AND SEAL BOTTOM PLATE, TYP. |
| 503 | DIRECT CONNECT FOOTING DRAINS AND DOWNSPOUTS TO DESIGNATED STORMWATER SYSTEM. SEE CIVIL DRAWINGS FOR CONNECTION. TYP. |
| 505 | 5/8" GWB @ CEILINGS, TYP. |
| 507 | TJI FRAMING PER STRUCTURAL PLAN. |
| 510 | R-38 BATT INSULATION @ FLOORS BETWEEN HEATED AND UNHEATED SPACES TYP. |
| 511 | R-49 BATT INSULATION W/ BAFFLE TO ENSURE 1" MIN. GAP FOR CROSS VENTILATION, TYP. USE COMBINATION OF R38C & R11 OR BUILD-UP OF RIGID INSULATION WHERE NECESSARY. |
| 517 | FOOTINGS PER STRUCTURAL PLANS. |
| 518 | EAVE TO RECEIVE BLOCKING WITH (4) 2 1/2" VENTING HOLES PER 24" PROVIDING 7.35 S.I. OF VENTILATION PER LINEAR FOOT. SEE ROOF PLAN AND VENT TABLE. |
| 519 | 2x6 STUD EXTERIOR WALL ASSEMBLY. SIDING PER ELEVATION OVER WATER-VAPOR PERMEABLE AIR-BARRIER OVER SHEATHING PER STRUCTURAL. 1/2" GYP INSIDE, TYP. |
| 524 | 2X ROOF FRAMING AND CONNECTIONS PER STRUCTURAL PLAN. |
| 525 | BEAM AND CONNECTIONS PER STRUCTURAL PLAN. |
| 526 | LINE OF CRAWL SPACE ACCESS BEYOND, SEE FLOOR PLAN FOR SILL HEIGHT. |

THERMAL INSULATION

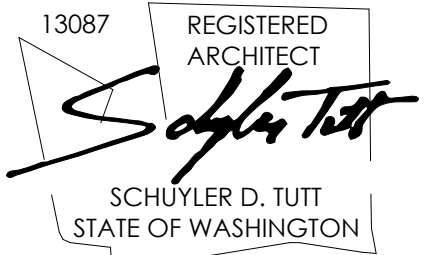
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| WALLS (BELOW-GRADE): | R-13 BATT INSULATION AND CONTINUOUS R-5 |
| WALLS (ABOVE-GRADE): | R-21 BATT INSULATION |
| HEADERS: | R-10 RIGID INSULATION |
| CEILINGS (STANDARD FRAMING): | R-49 BATT INSULATION |
| FLOORS: | R-38 BATT INSULATION |
| SLAB: | R-10 RIGID AT PERIMETER & UNDER ENTIRE SLAB |
| WINDOWS & DOORS: | U-VALUE OF .28 OR BETTER |
| SKYLIGHTS: | U-VALUE OF .50 OR BETTER |



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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

SECTIONS

DRAWN BY: DRA
CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

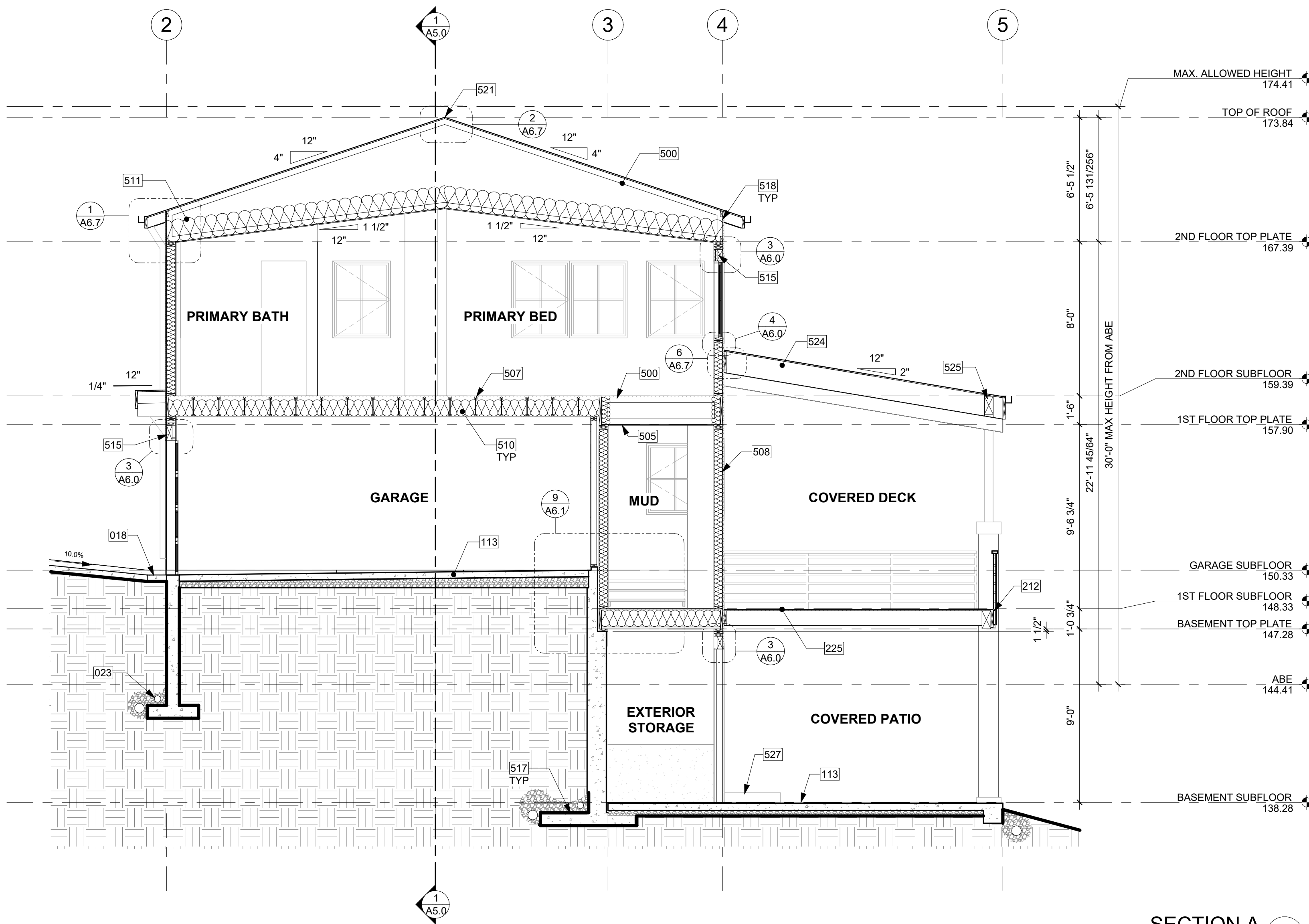
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A5.0

PLOT SCALE: 1:1



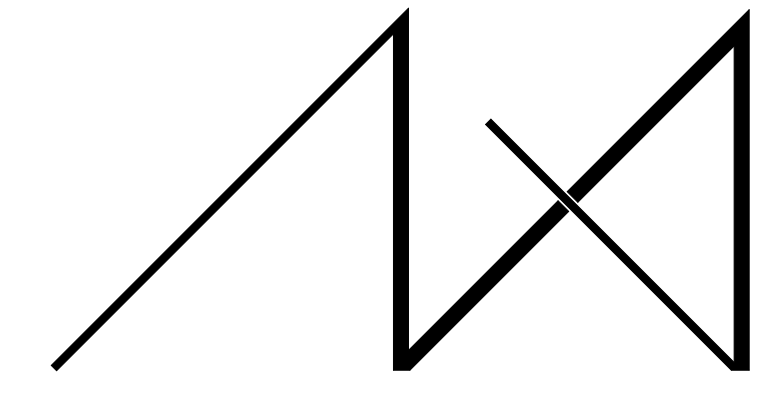
SECTION A
1/4" = 1'-0" 1

THERMAL INSULATION

- WALLS (BELOW-GRADE): R-13 BATT INSULATION AND CONTINUOUS R-5
- WALLS (ABOVE-GRADE): R-21 BATT INSULATION
- HEADERS: R-10 RIGID INSULATION
- CEILINGS (STANDARD FRAMING): R-49 BATT INSULATION
- FLOORS: R-38 BATT INSULATION
- SLAB: R-10 RIGID AT PERIMETER & UNDER ENTIRE SLAB
- WINDOWS & DOORS: U-VALUE OF .28 OR BETTER
- SKYLIGHTS: U-VALUE OF .50 OR BETTER

KEY NOTES

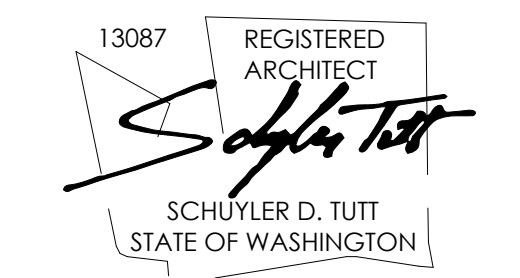
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|-----|---|
| 018 | TRENCH DRAIN: SEE DETAILS AND CIVIL. |
| 023 | SITE DRAINAGE AWAY FROM HOME PER IRC SECTION 401.3. SEE CIVIL DRAWINGS FOR FOUNDATION DRAINAGE SPECIFICATIONS. |
| 113 | CONCRETE SLAB (4" MIN. OR PER STRUCTURAL) OVER GRAVEL OR CRUSHED ROCK (4" MIN. OR PER GEOTECH) OVER FIRM UNDISTURBED SOIL. REINFORCING PER STRUCTURAL. EXTERIOR SLABS TO RECEIVE BROOM FINISH AND TO SLOPE 1/4" PER FOOT AWAY FROM BUILDING. |
| 212 | GUARDRAIL, FASCIA MOUNT - DEFERRED SUBMITTAL. MIN. HEIGHT 36" PER IRC SECTION R312.1.2. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAM. IRC SECTION R312.1.3 EXCEPTIONS: 1) THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE OF 6" IN DIAM. 2) GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4-3/8" IN DIAM. PER TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS - GUARDRAIL AND HANDRAIL 200 PER SQUARE FOOT. CONNECTIONS PER STRUCTURAL TYPICAL GUARDRAIL DETAILS. |
| 225 | PT DECK FRAMING PER STRUCTURAL W/ 2x CEDAR DECKING. MAINTAIN 1/8" GAP BETWEEN DECKING MEMBERS. |
| 500 | TRUSS FRAMING PER STRUCTURAL PLAN. |
| 505 | 5/8" GWB @ CEILINGS, TYP. |
| 507 | TJI FRAMING PER STRUCTURAL PLAN. |
| 508 | 2x6 STUD EXTERIOR WALL ASSEMBLY: SIDING PER ELEVATION OVER WATER-VAPOR PERMEABLE AIR-BARRIER OVER SHEATHING PER STRUCTURAL. R-21 INSULATION WITH 1/2" GYP INSIDE, TYP. |
| 510 | R-38 BATT INSULATION @ FLOORS BETWEEN HEATED AND UNHEATED SPACES TYP. |
| 511 | R-49 BATT INSULATION W/ Baffle TO ENSURE 1" MIN. GAP FOR CROSS VENTILATION, TYP. USE COMBINATION OF R38C & R11 OR BUILD-UP OF RIGID INSULATION WHERE NECESSARY. |
| 515 | R-10 RIGID INSULATION @ HEADERS, TYP. |
| 517 | FOOTINGS PER STRUCTURAL PLANS. |
| 518 | EAVE TO RECEIVE BLOCKING WITH (4) 2 1/2" VENTING HOLES PER 24" PROVIDING 7.35 S.I. OF VENTILATION PER LINEAR FOOT. SEE ROOF PLAN AND VENT TABLE. |
| 521 | RIDGE TO RECEIVE CONTINUOUS VENT. SEE ROOF PLAN. |
| 524 | 2X ROOF FRAMING AND CONNECTIONS PER STRUCTURAL PLAN. |
| 525 | BEAM AND CONNECTIONS PER STRUCTURAL PLAN. |
| 527 | STEP BEYOND. |



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PROJECT / CLIENT:
 2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

SECTIONS

DRAWN BY: DRA
 CHECKED BY: JML

PHASE:
 CONSTRUCTION DRAWINGS

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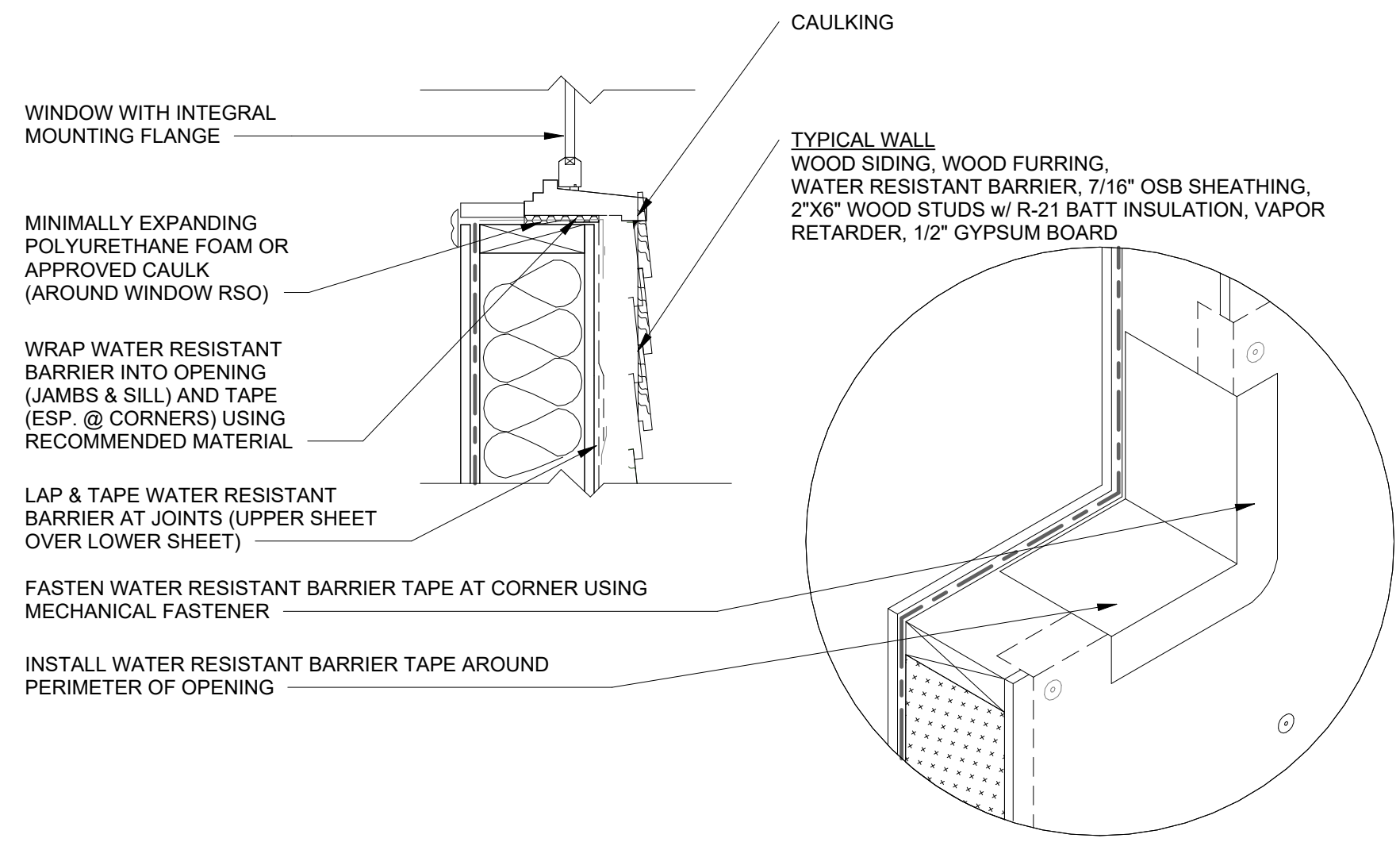
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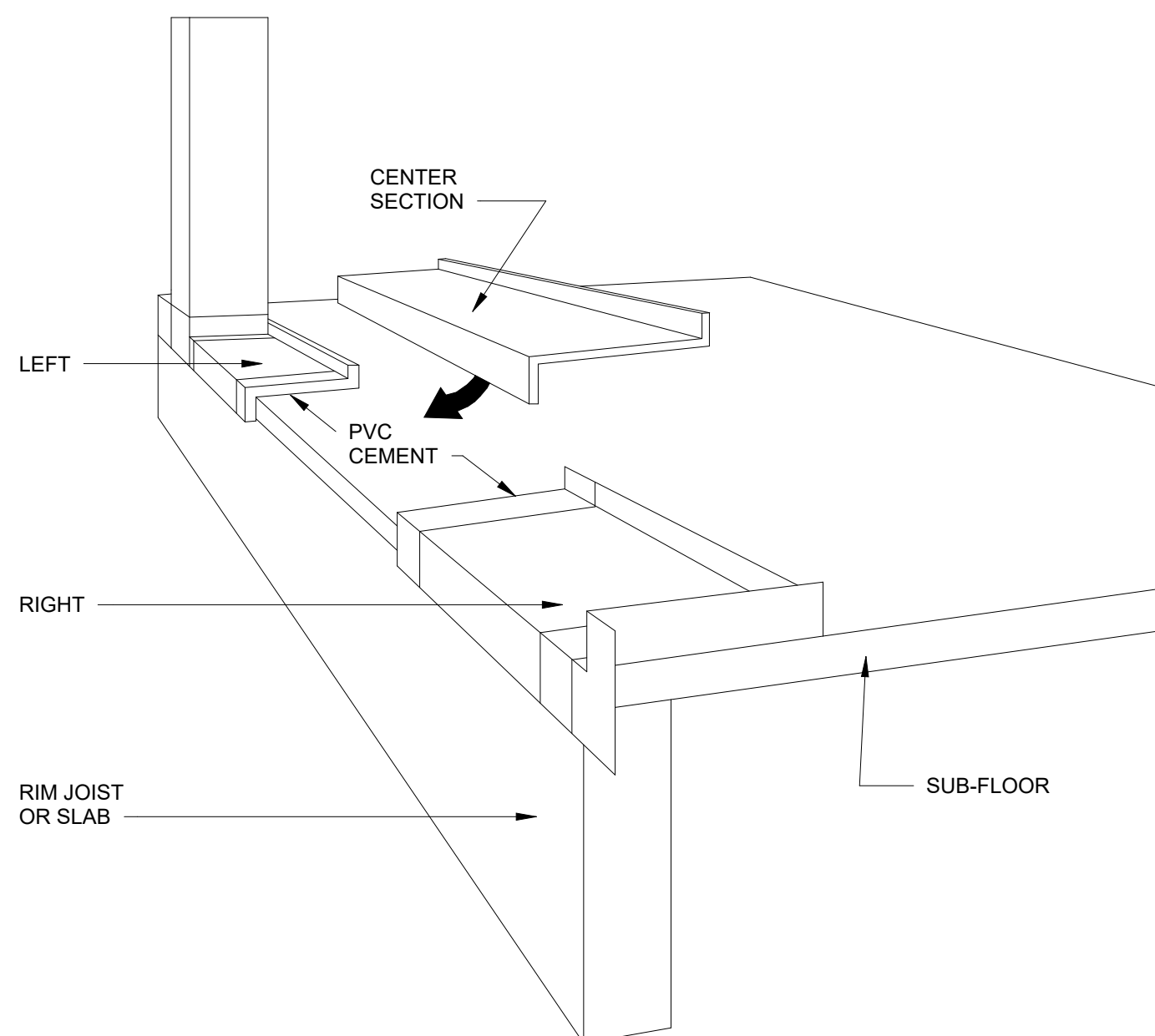
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PLOT SCALE: 1:1

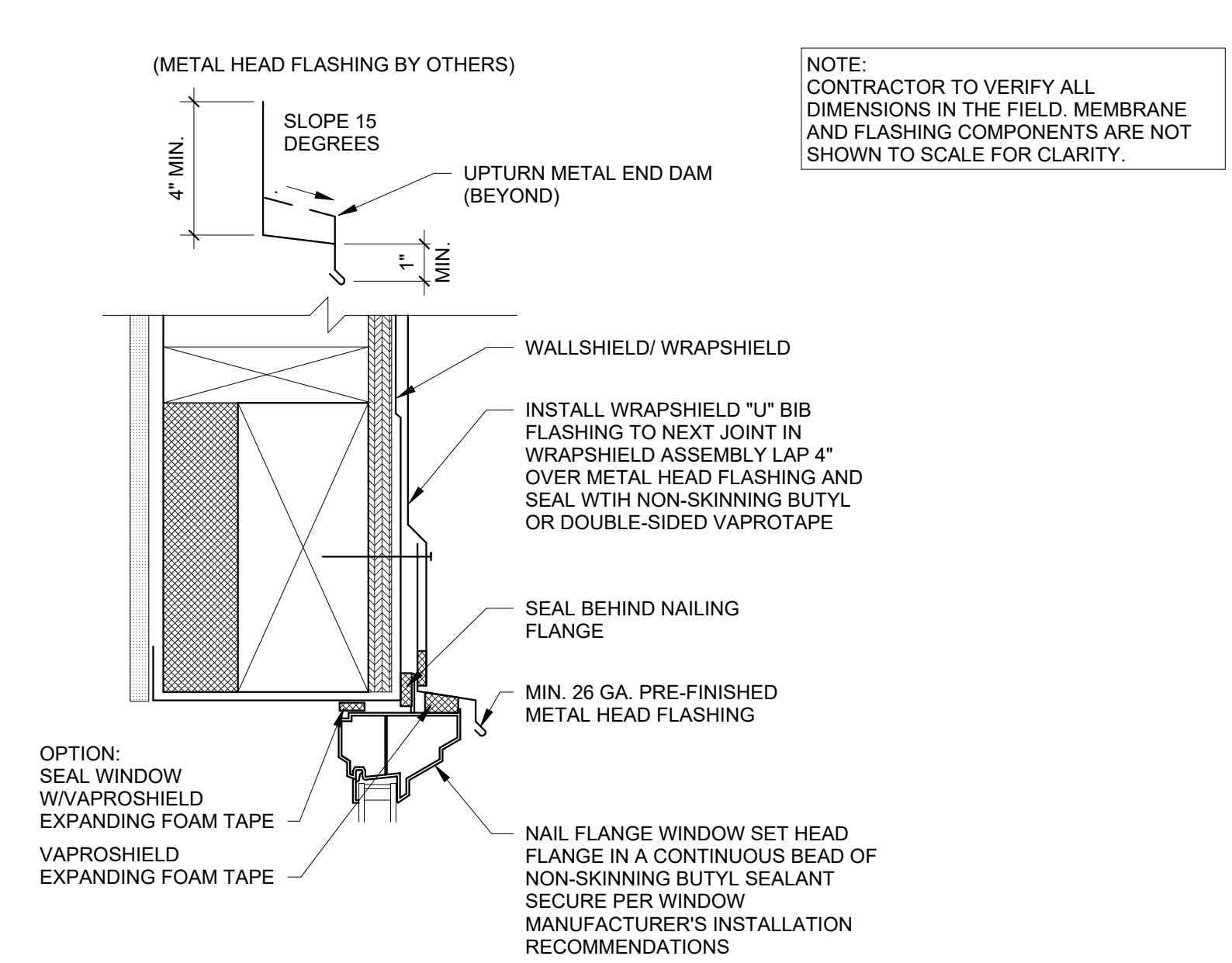
NOTE:
SEAL ALL WATER RESISTANT BARRIER JOINTS AND PENETRATIONS WITH APPROVED TAPE. (ex. DUPONT CONTRACTOR TAPE).
FASTEN WATER RESISTANT BARRIER TO SHEATHING WITH LARGE HEAD NAILS OR USE NAILS WITH LARGE PLASTIC WASHER HEADS.
(ex. DUPONT WRAPCAPS) LOCAL LAWS, ZONING, AND BUILDING CODES CARRY AND THEREFORE GOVERNS OVER MATERIAL
SELECTION AND DETAILING SHOWN BELOW.



WINDOW SILL FLASHING
1 1/2" = 1'-0" ①

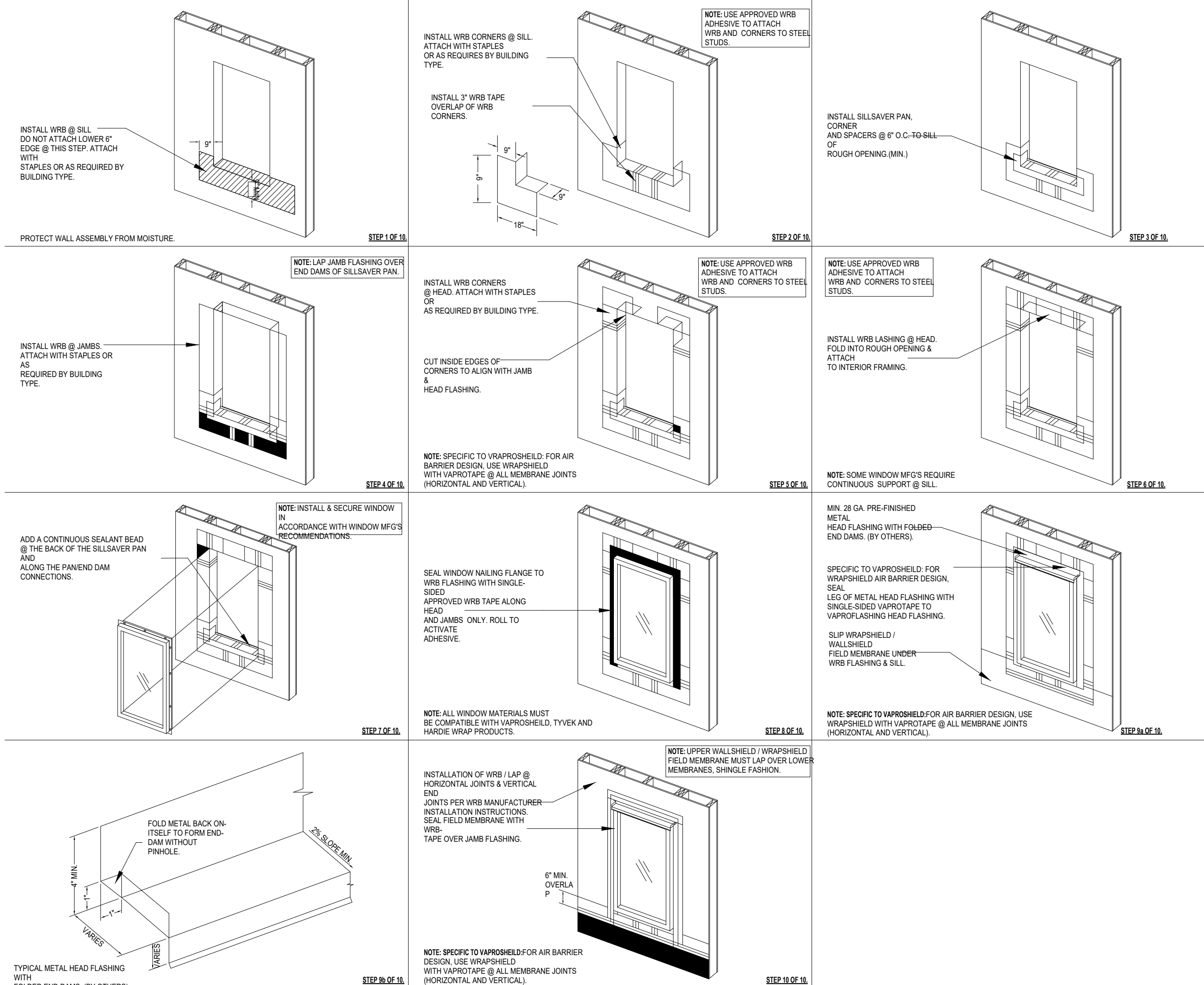


DOOR SILL WEATHERPROOFING
1 : 3 ②



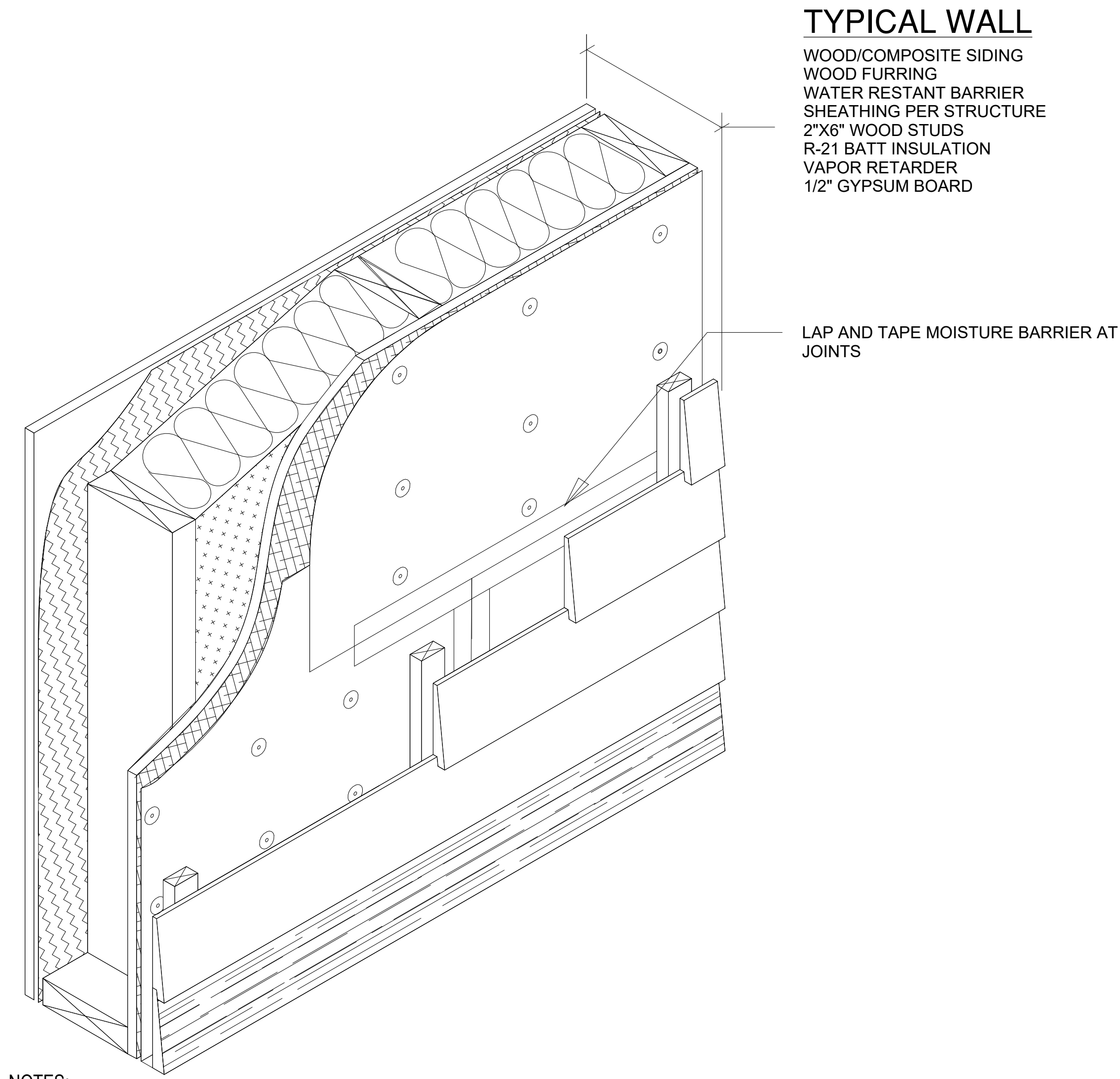
WINDOW & DOOR HEADER FLASHING
3" = 1'-0" ③

OVERVIEW OF WINDOW WRAP INSTALL SEQUENCE
- COMPATIBLE WITH TYVEK, VAPROSHIELD AND
HARDIE WRAP SYSTEMS



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS

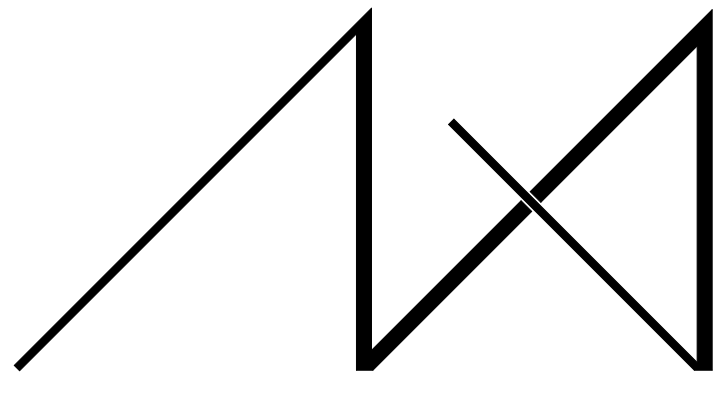
WEATHER SHIELD - WINDOW WRAP
3/4" = 1'-0" ④



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.

Wrap entire building with 15 lb asphalt-impregnated felt or approved weather-resistant barrier, field membrane apply in roll, spray or brush; Application Temperature Min.: 0° F; Max.: 130° F, Application Thickness 15 wet mils or more, Typical Cure Time <30 min., dry to touch; <8 hours, (wall temp) (110- 130 sq. ft. / gal). Or other product approved by siding manufacture for specific siding material such as Hardie Panel siding.

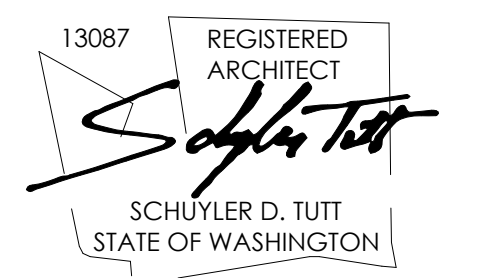
WEATHER SHIELD
3/4" = 1'-0" ⑤



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MERCER ISLAND, 98040

DRAWING NAME:

DETAILS - ENVELOPE

DRAWN BY: DRA
CHECKED BY: JWH

PHASE:
CONSTRUCTION DRAWINGS

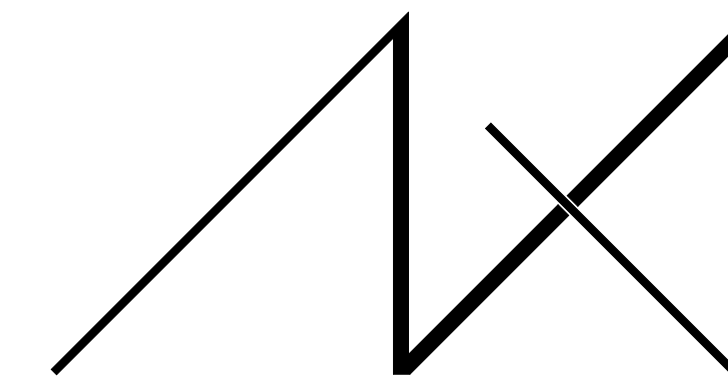
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A6.0

PLOT SCALE: 1:1

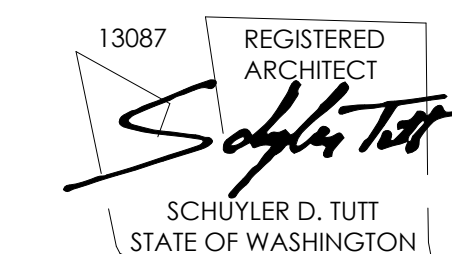


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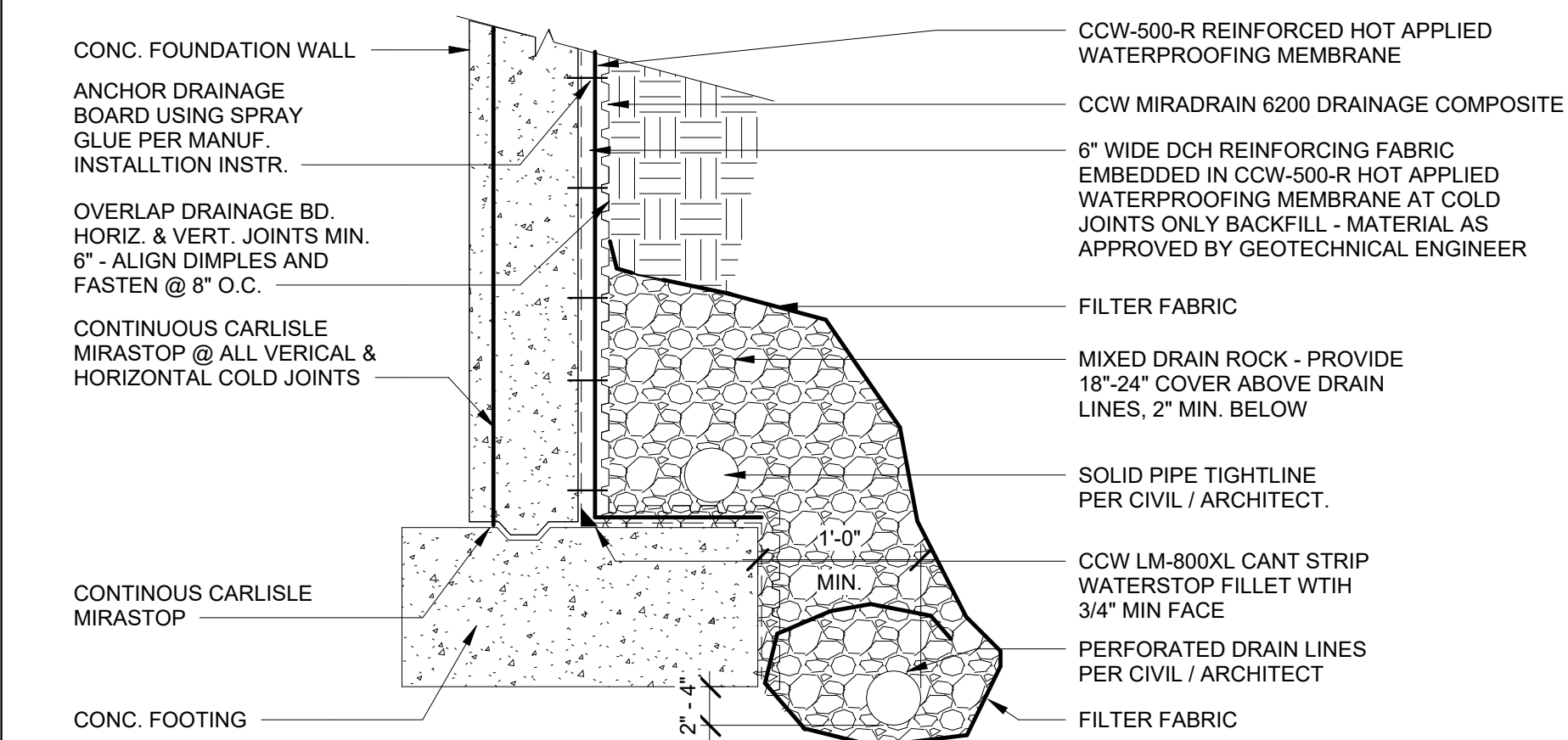
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PLOT SCALE: 1:1

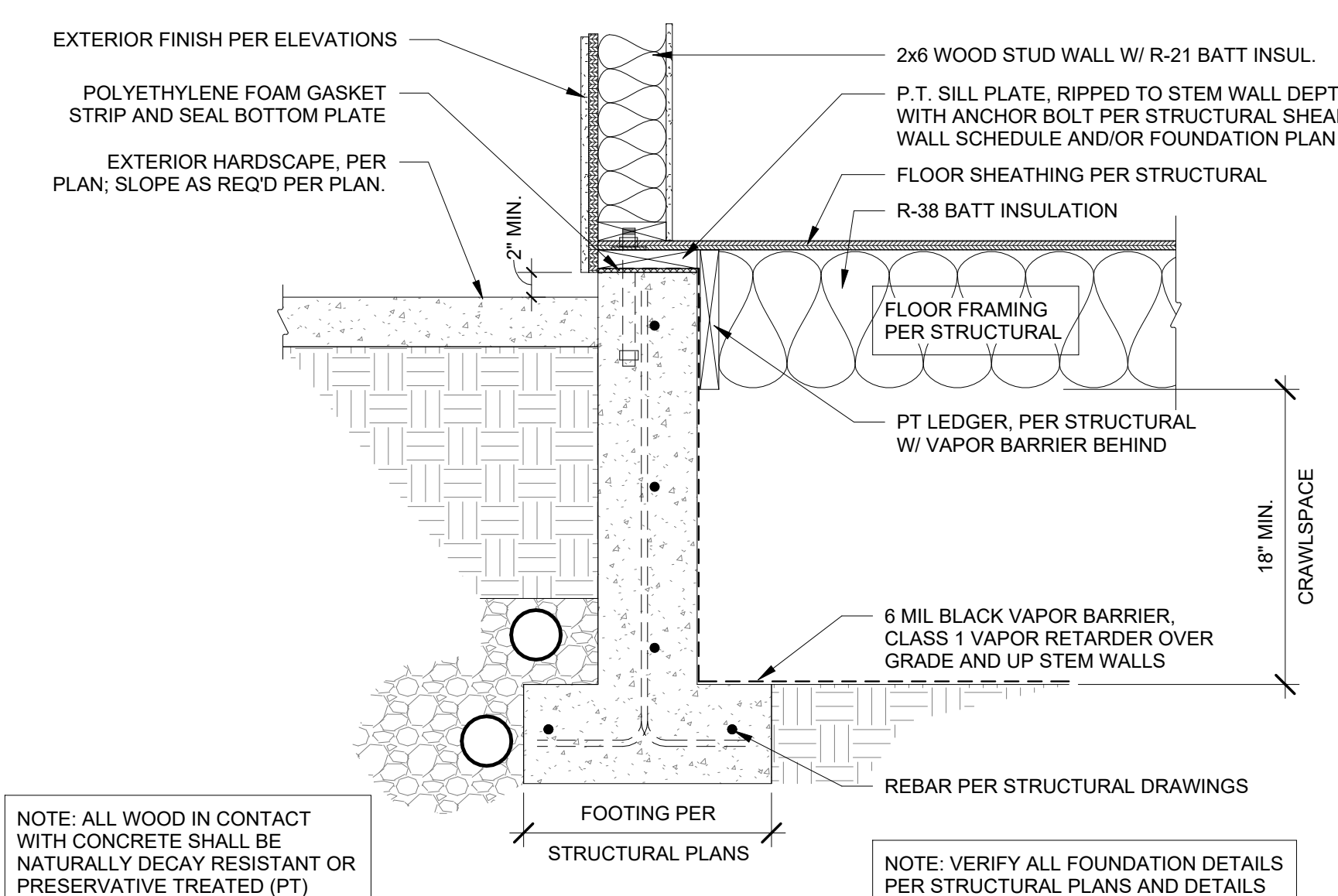
NOTE 1: USE MANUFACTURER PROVIDED AND/OR APPROVED FASTENERS AND ACCESSORIES FOR INSTALLATION OF MIRADRAIN DRAINAGE COMPOSITE

NOTE 2: APPLY MECHANICALLY ATTACHED TERM BAR PRIOR TO BACKFILL.



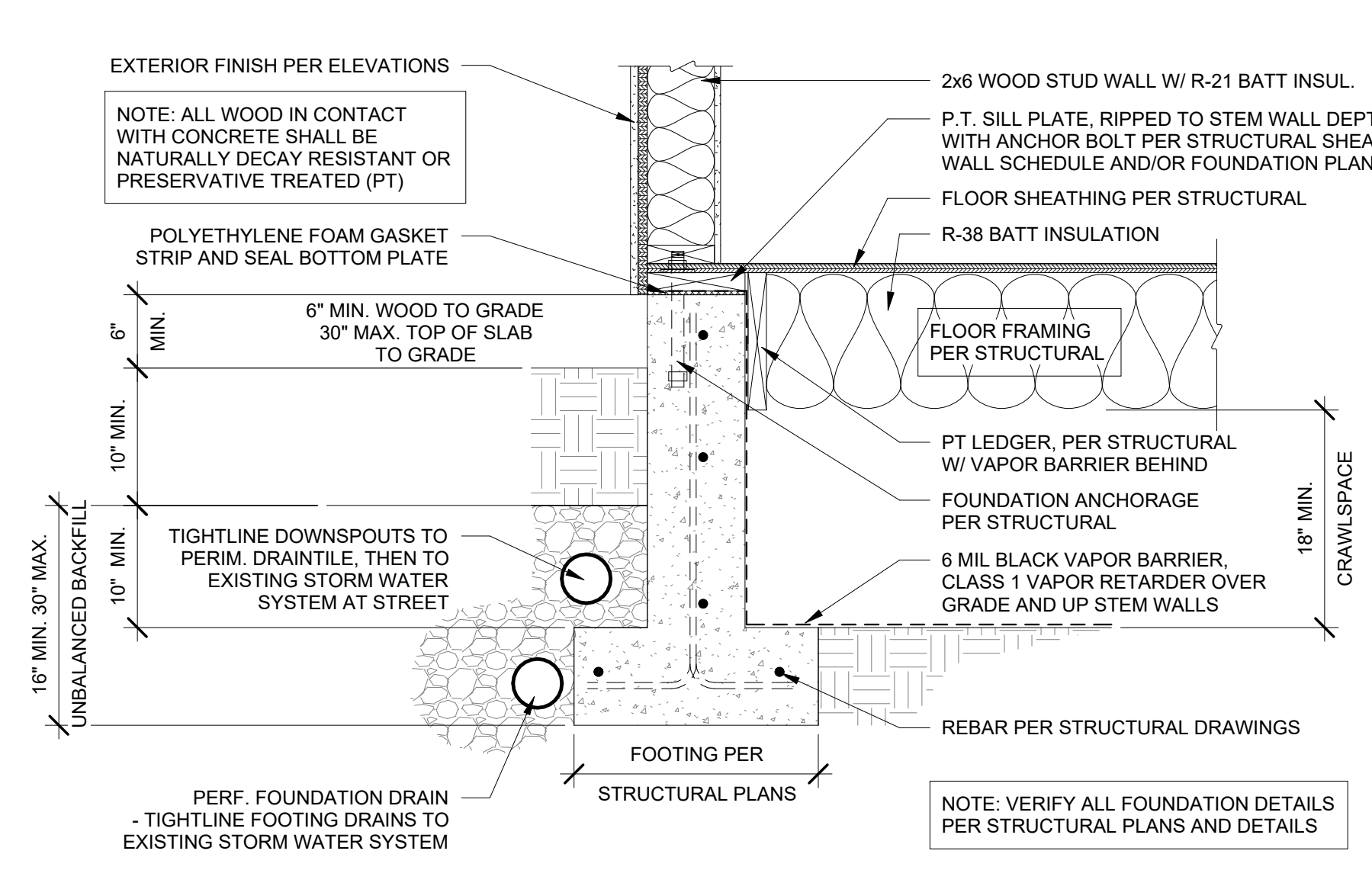
FOUNDATION DRAINAGE 3

1" = 1'-0"



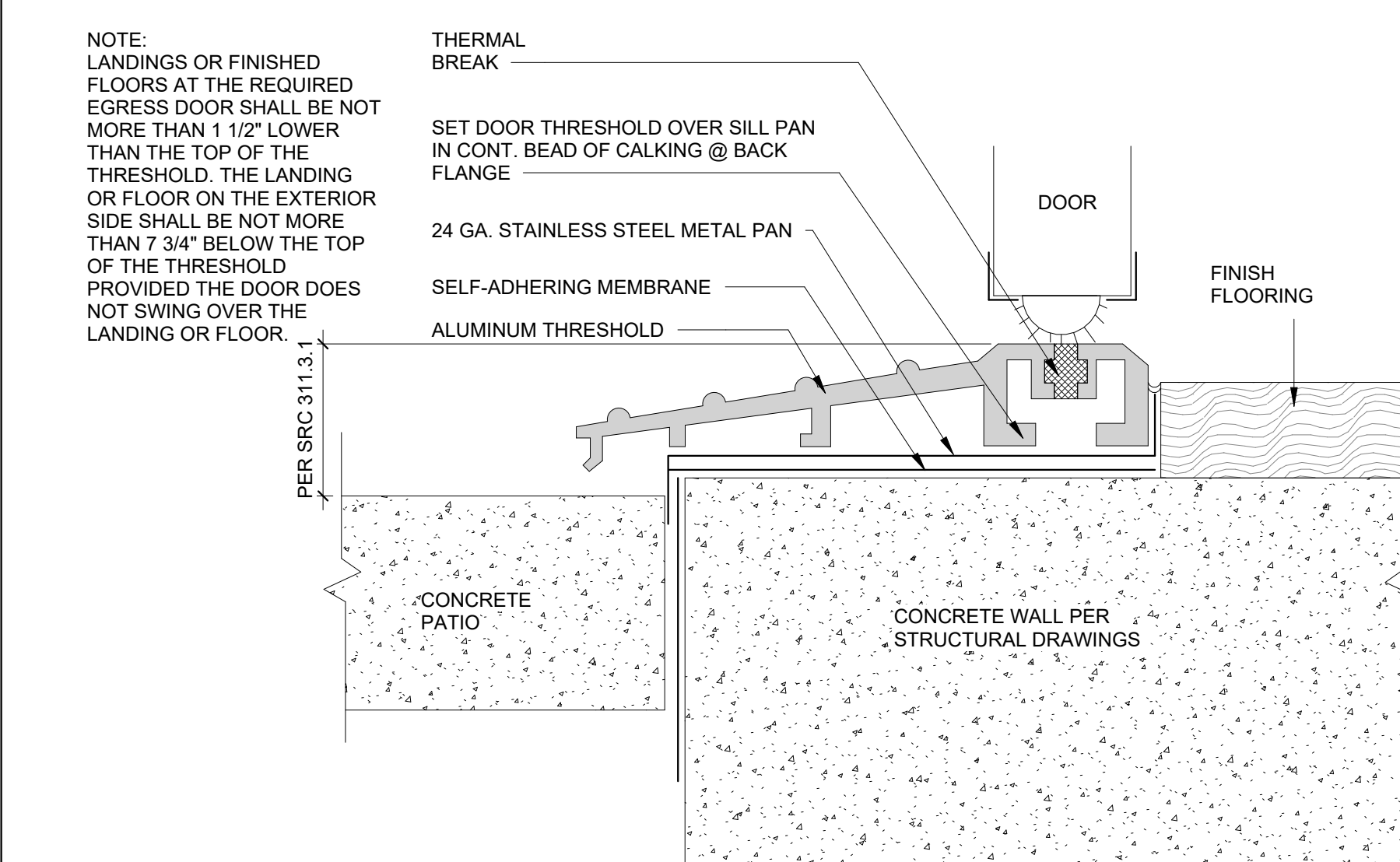
FOUNDATION AT CRAWLSPACE 2

1" = 1'-0"



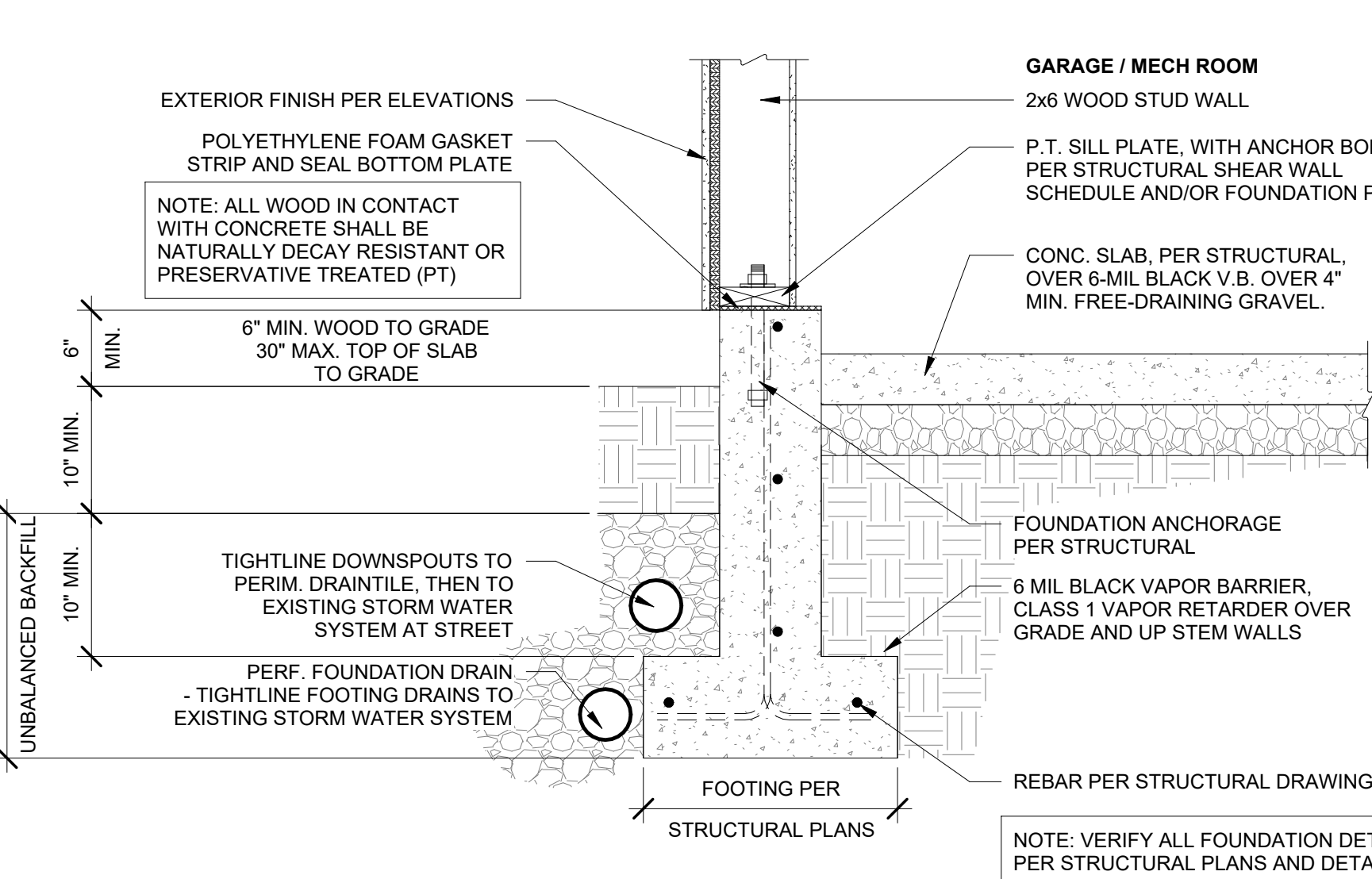
FOUNDATION AT CRAWLSPACE 1

1" = 1'-0"



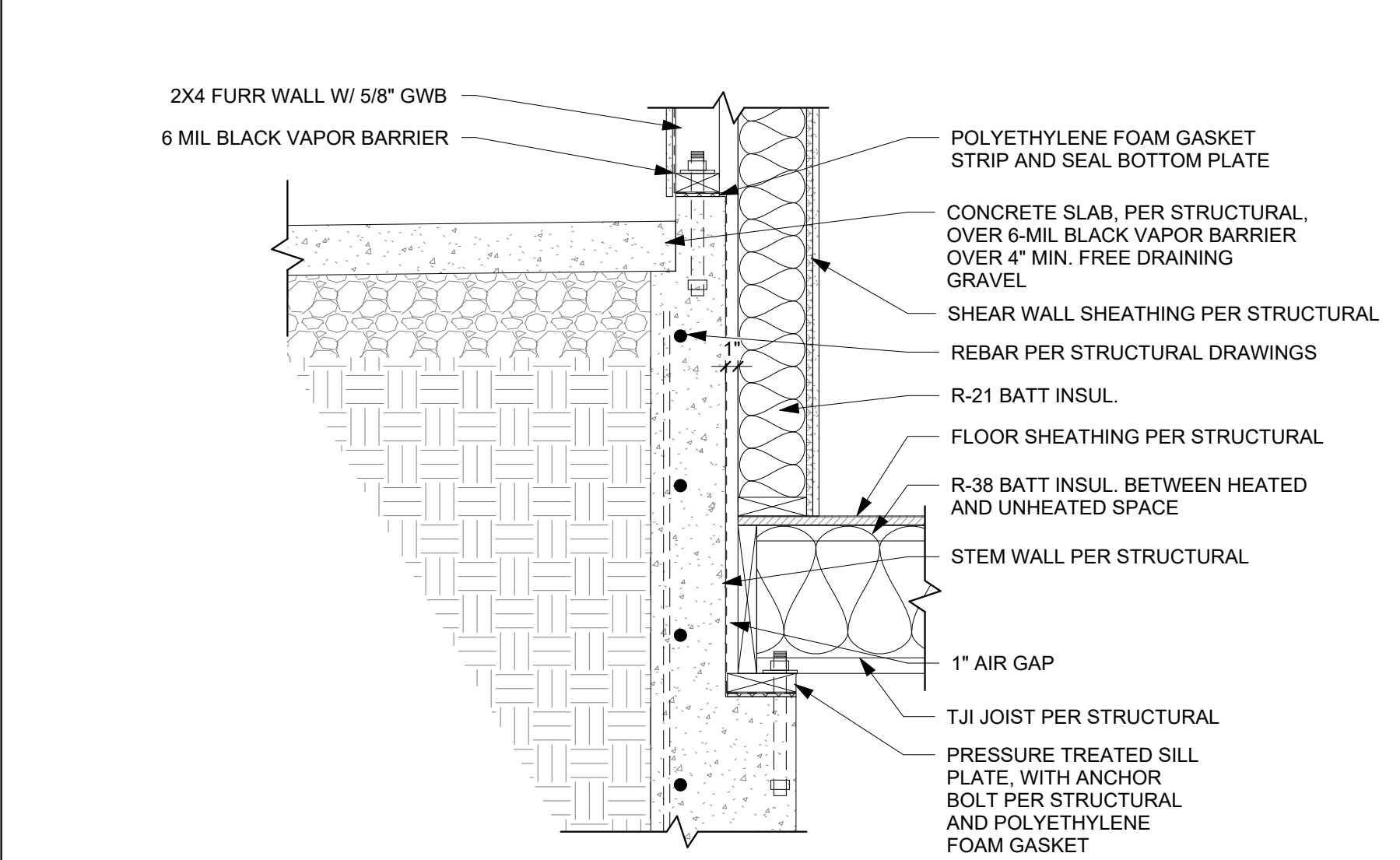
DOOR THRESHOLD @ PATIO 6

6" = 1'-0"



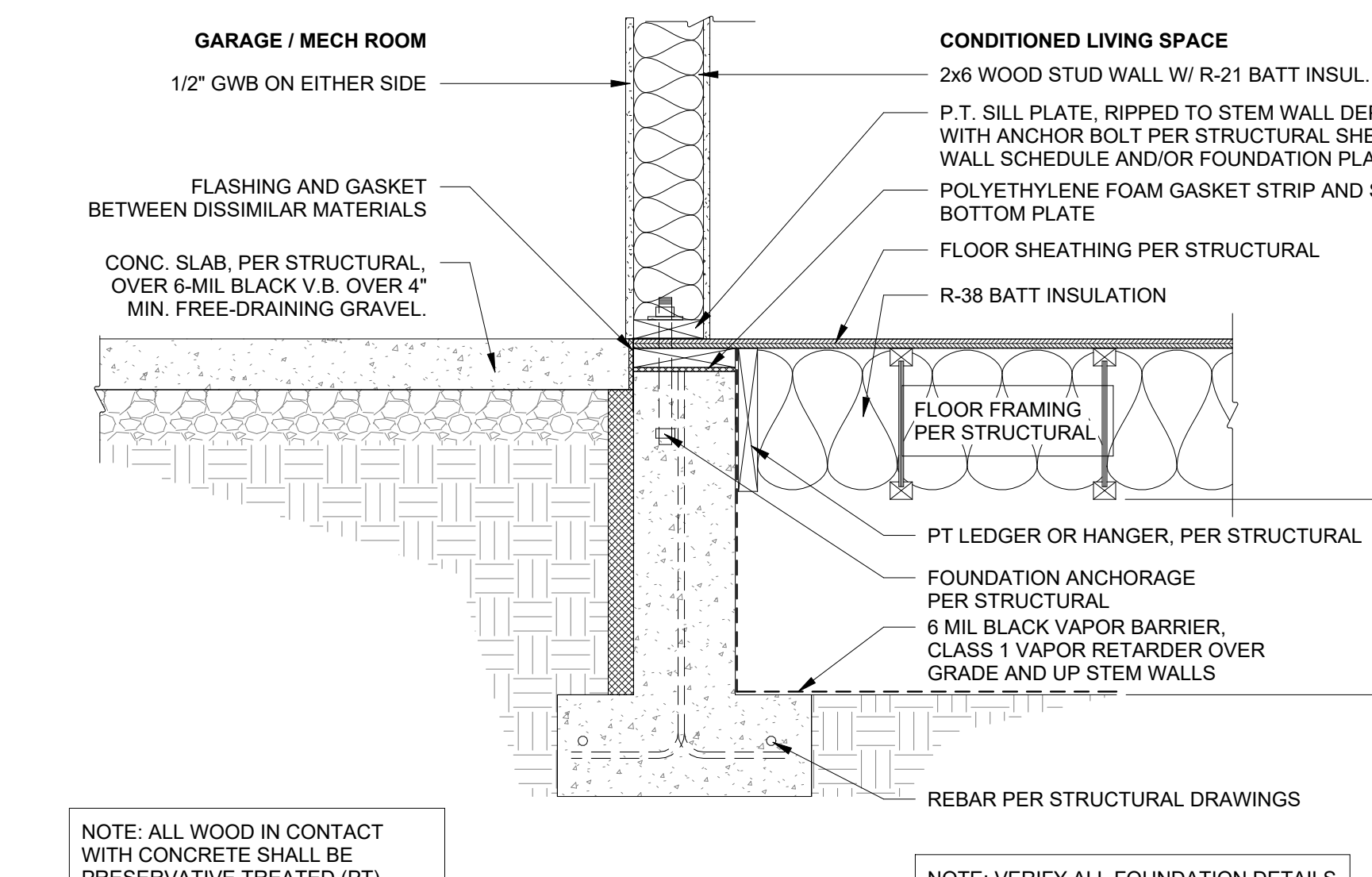
FOUNDATION AT UNINSULATED SLAB-ON-GRADE 5

1" = 1'-0"



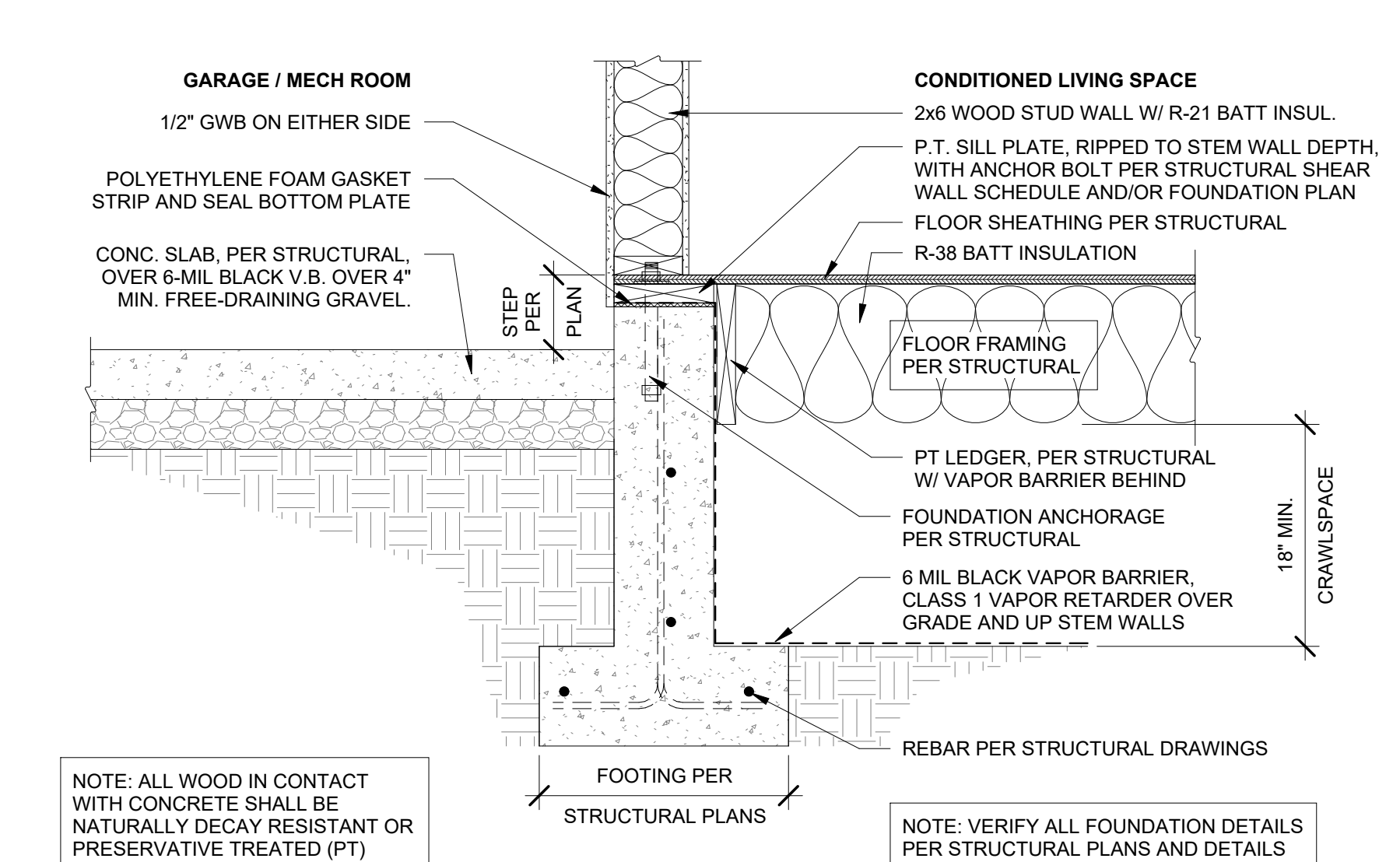
FOUNDATION WATERPROOFING DETAIL 9

1" = 1'-0"



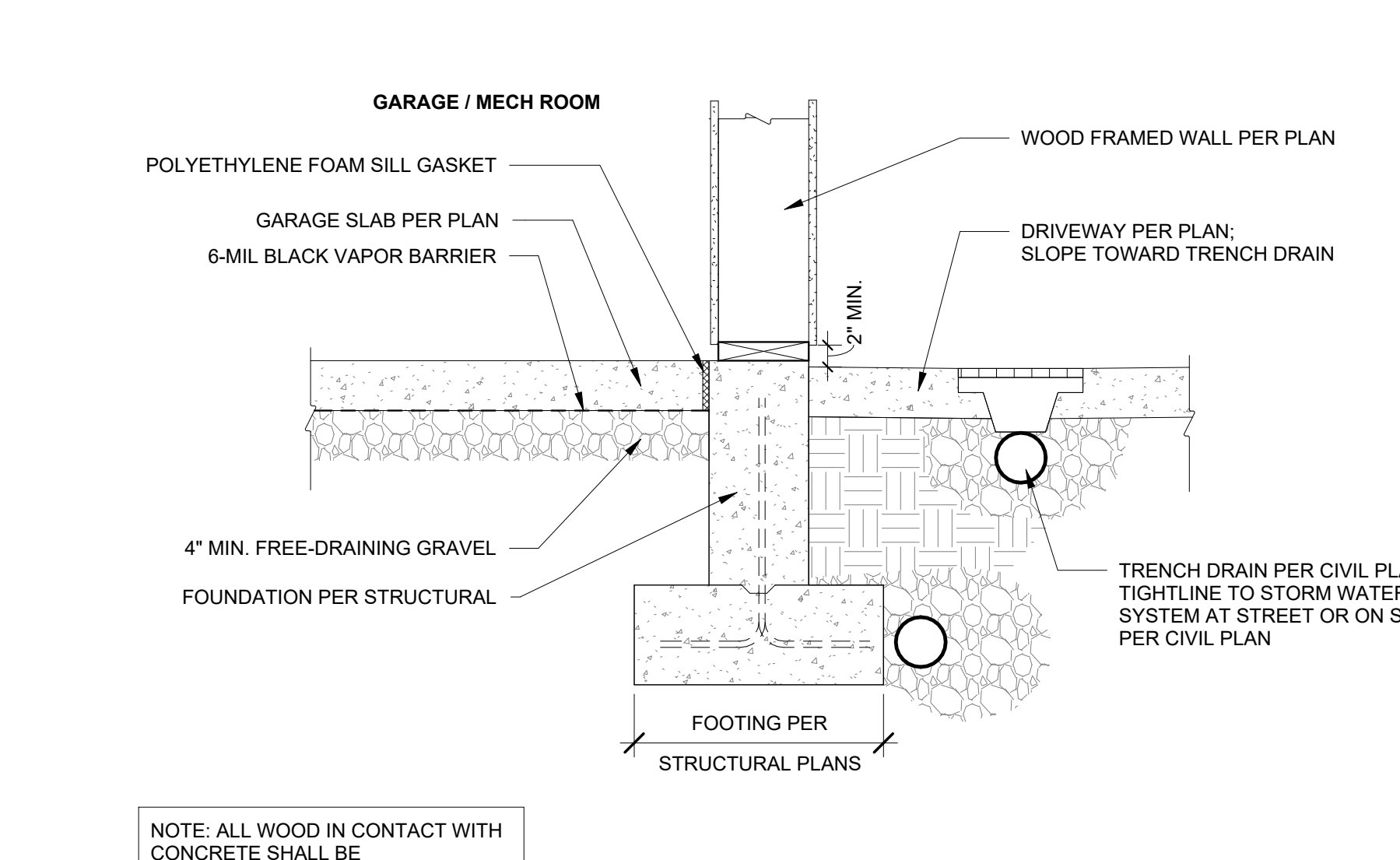
FOUNDATION AT INSULATED SLAB-ON-GRADE 8

1" = 1'-0"



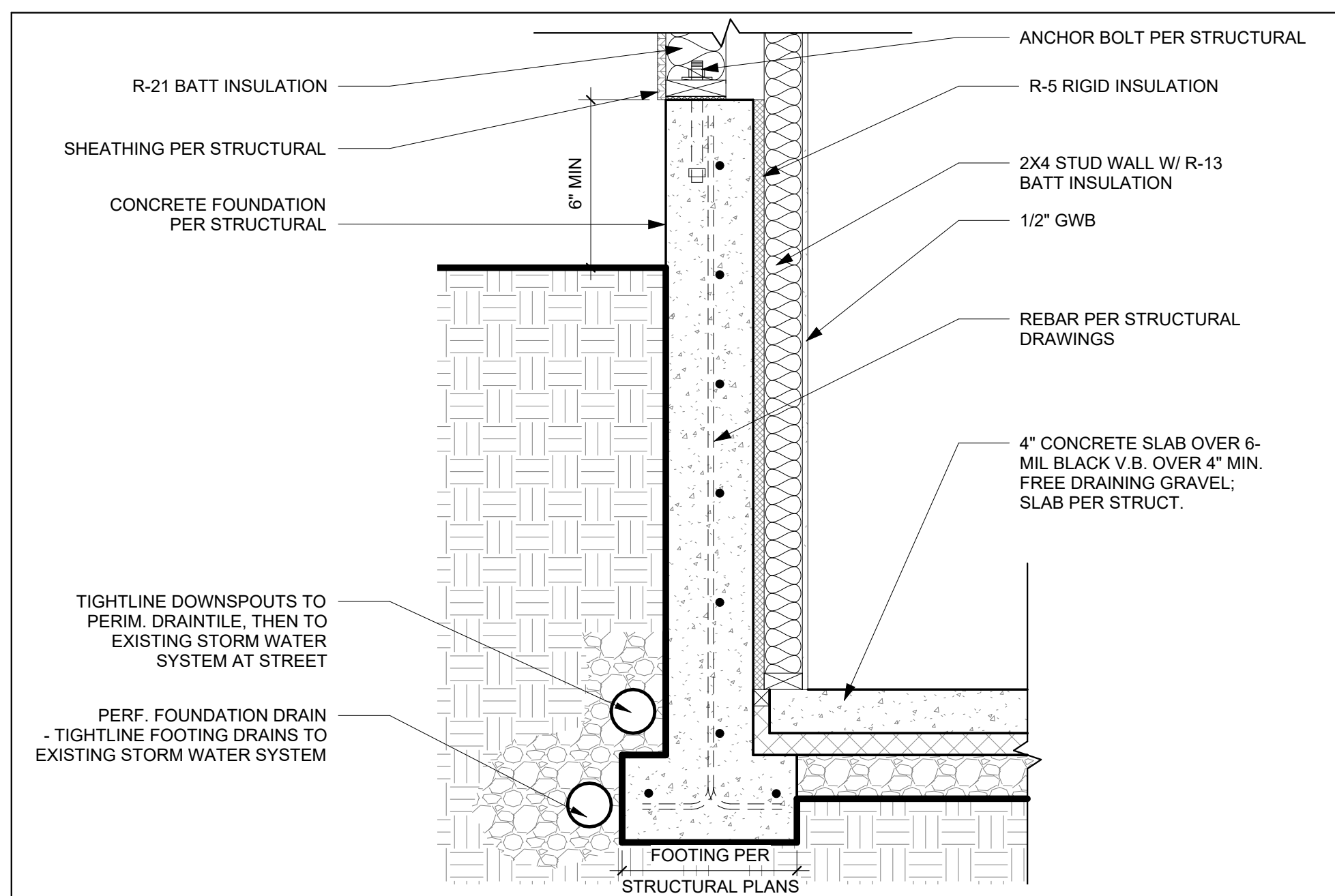
FOUNDATION AT CRAWLSPACE 4

1" = 1'-0"

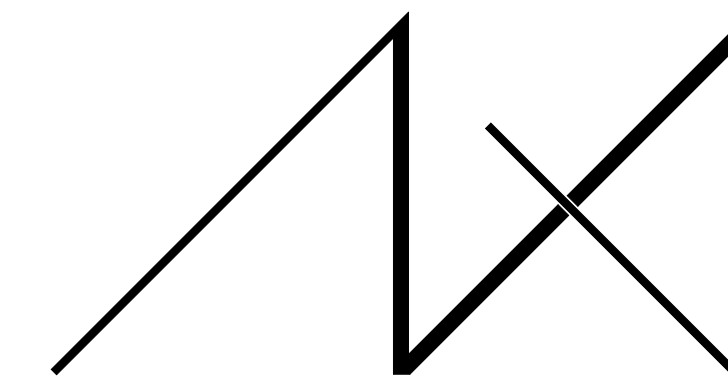


FOUNDATION WITH TRENCH DRAIN 7

1" = 1'-0"



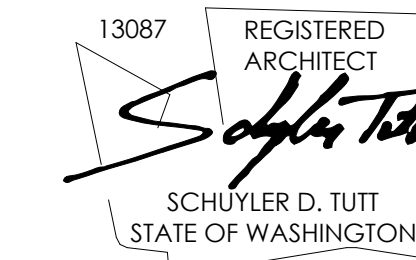
FOUNDATION WITH FURR'D STUD WALL ①
1" = 1'-0"



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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

DETAILS - FOUNDATION

DRAWN BY: DRA
CHECKED BY: JML

PHASE:

CONSTRUCTION DRAWINGS

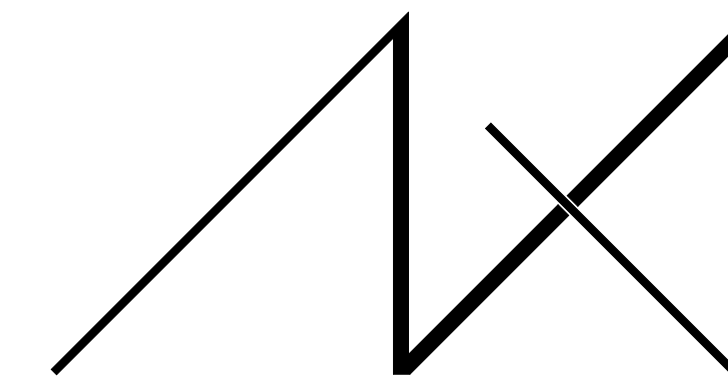
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A6.2

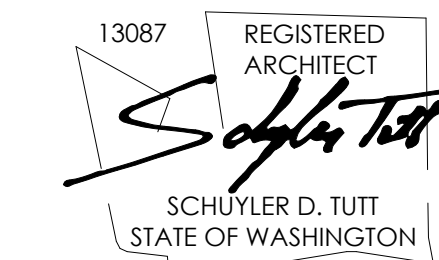
PLOT SCALE: 1:1



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PROJECT / CLIENT:
 2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

DETAILS - INTERIOR

DRAWN BY: DRA
 CHECKED BY: JWH

PHASE:

CONSTRUCTION DRAWINGS

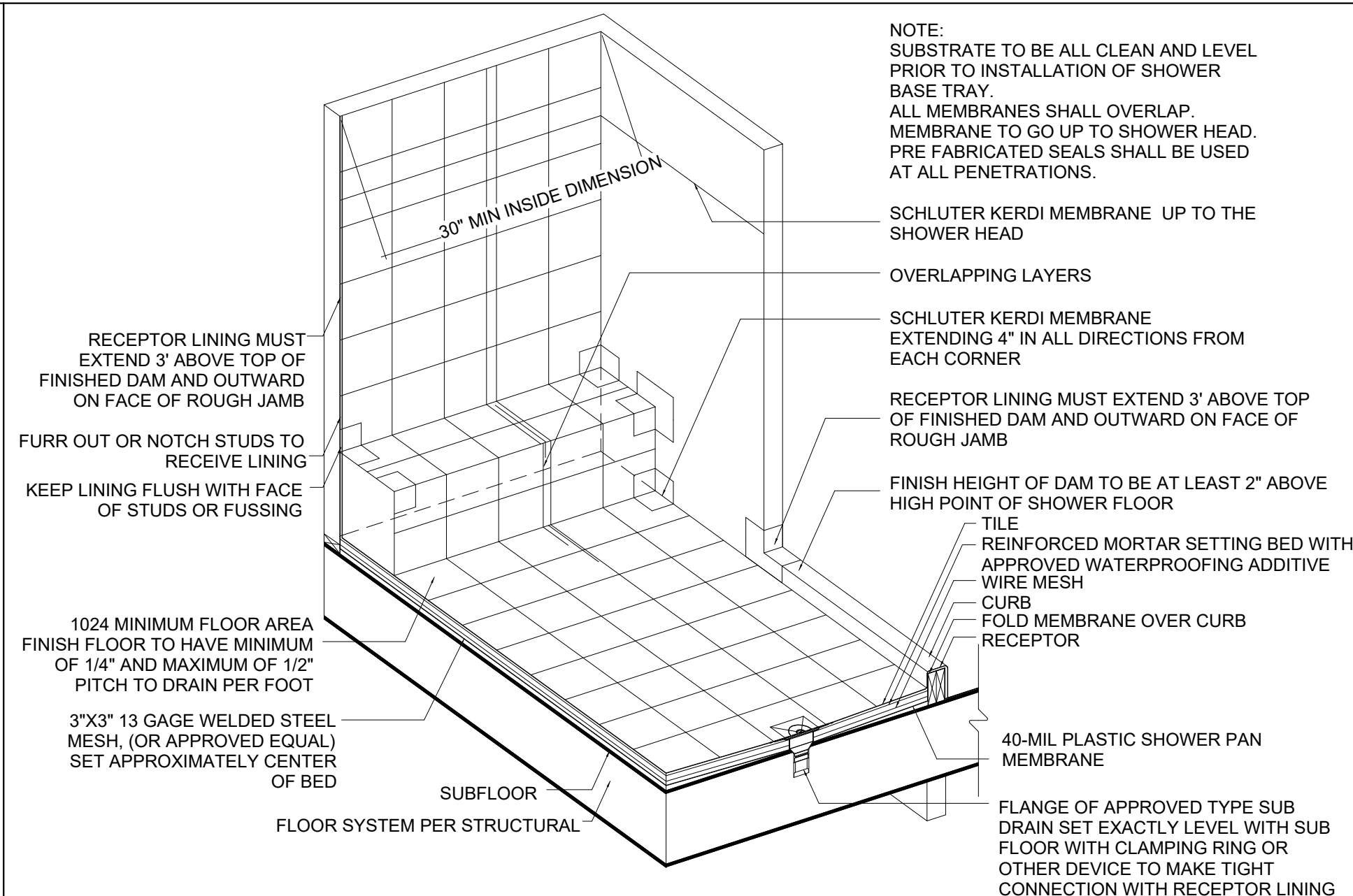
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APPROVED FOR CONSTRUCTION:

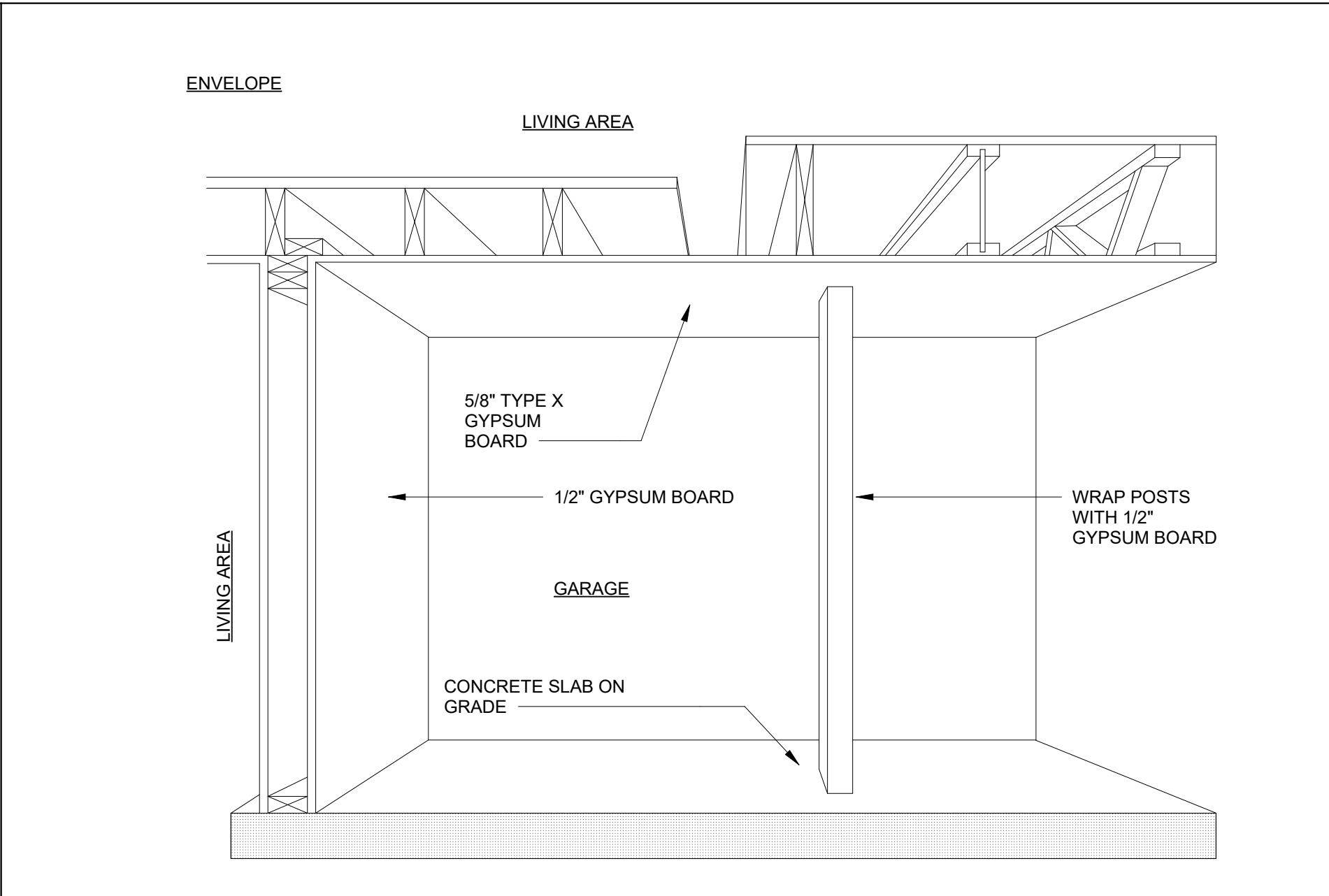
PROJECT No.: A22 087
 DATE: 10/30/2023

A6.3

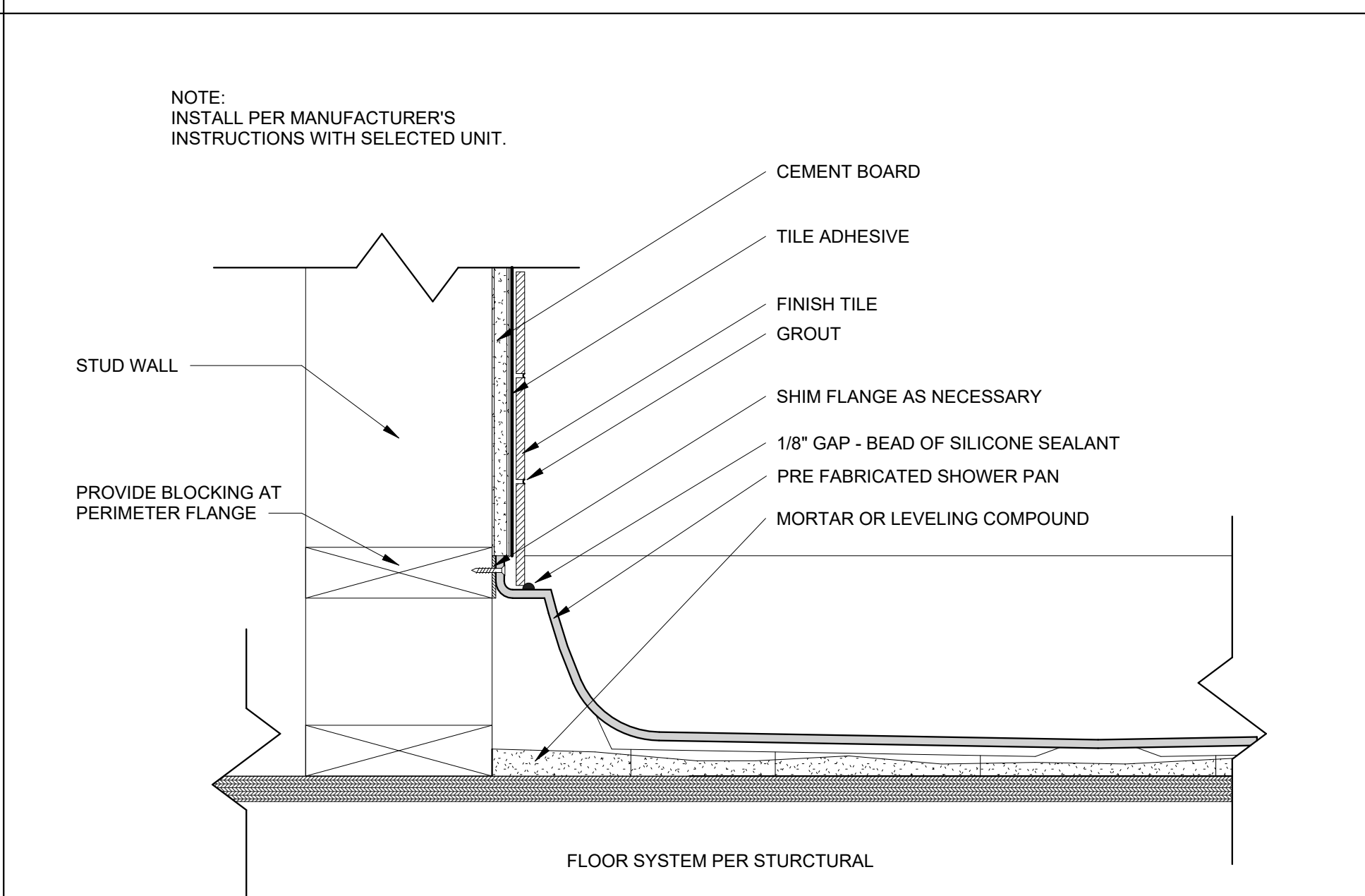
PLOT SCALE: 1:1



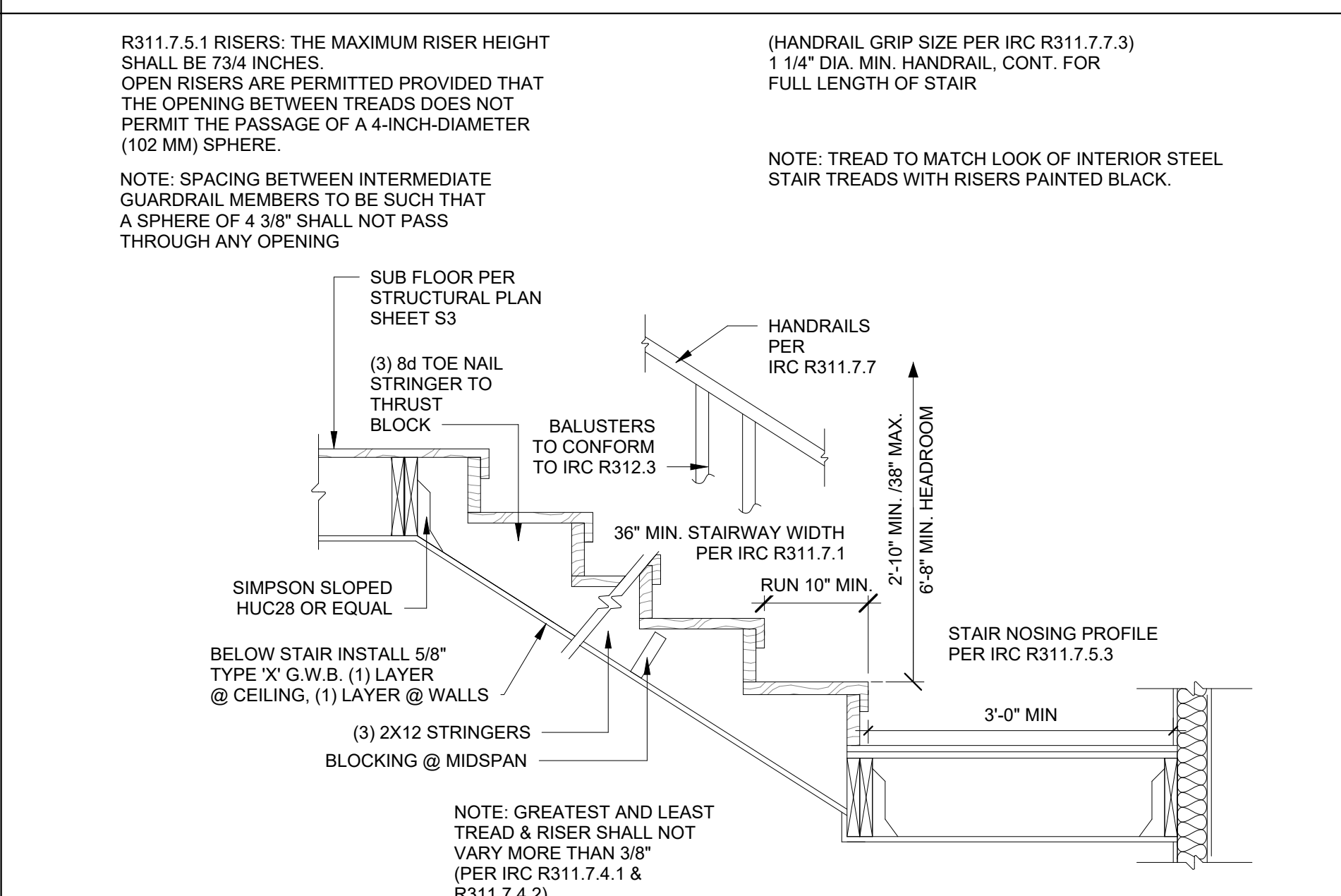
TILE LINED SHOWER RECEPTOR NTS 2



GENERIC GARAGE ENVELOPE 3
 3\"/>

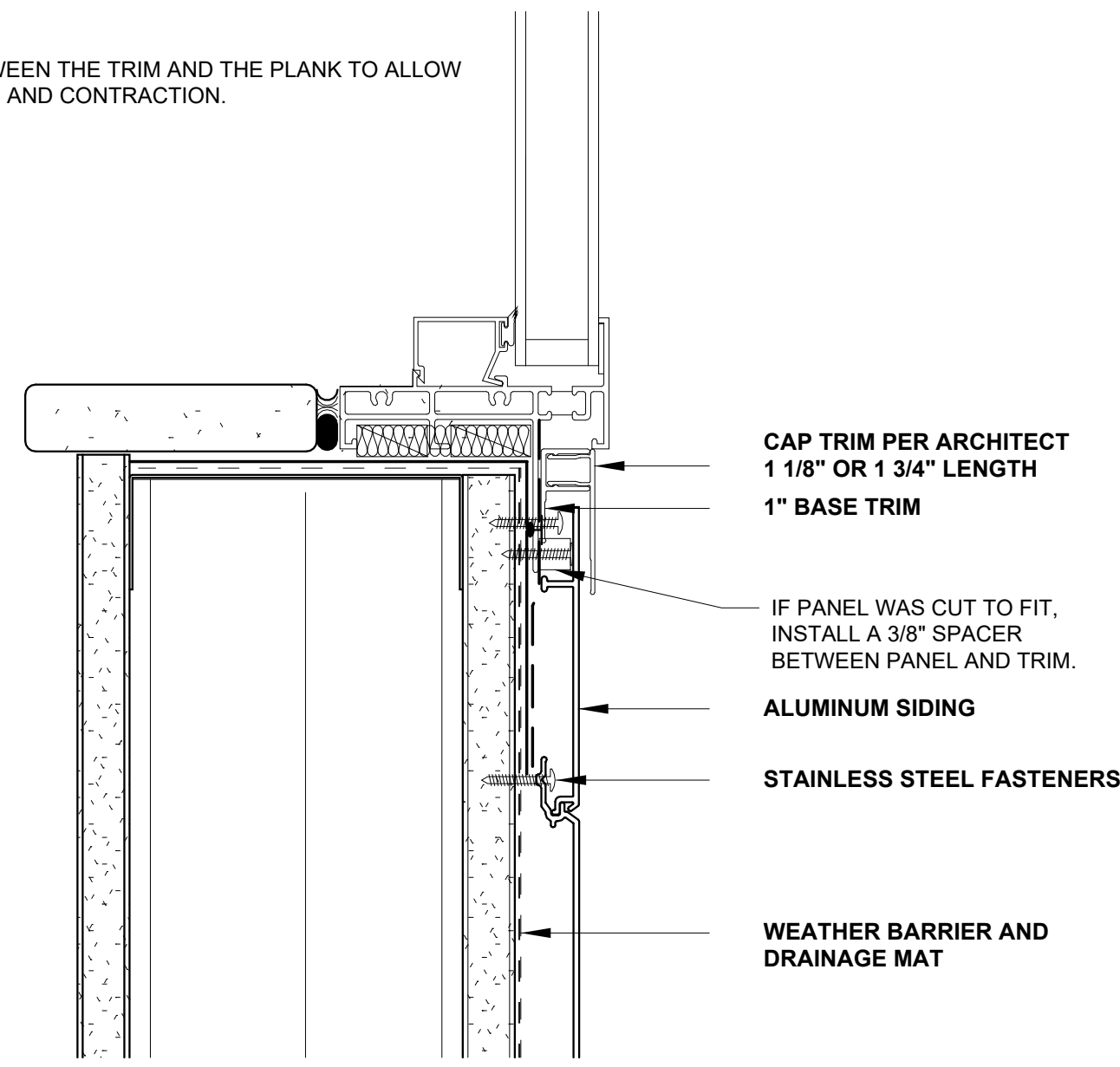


PRE-FABRICATED SHOWER PAN1 NTS 5



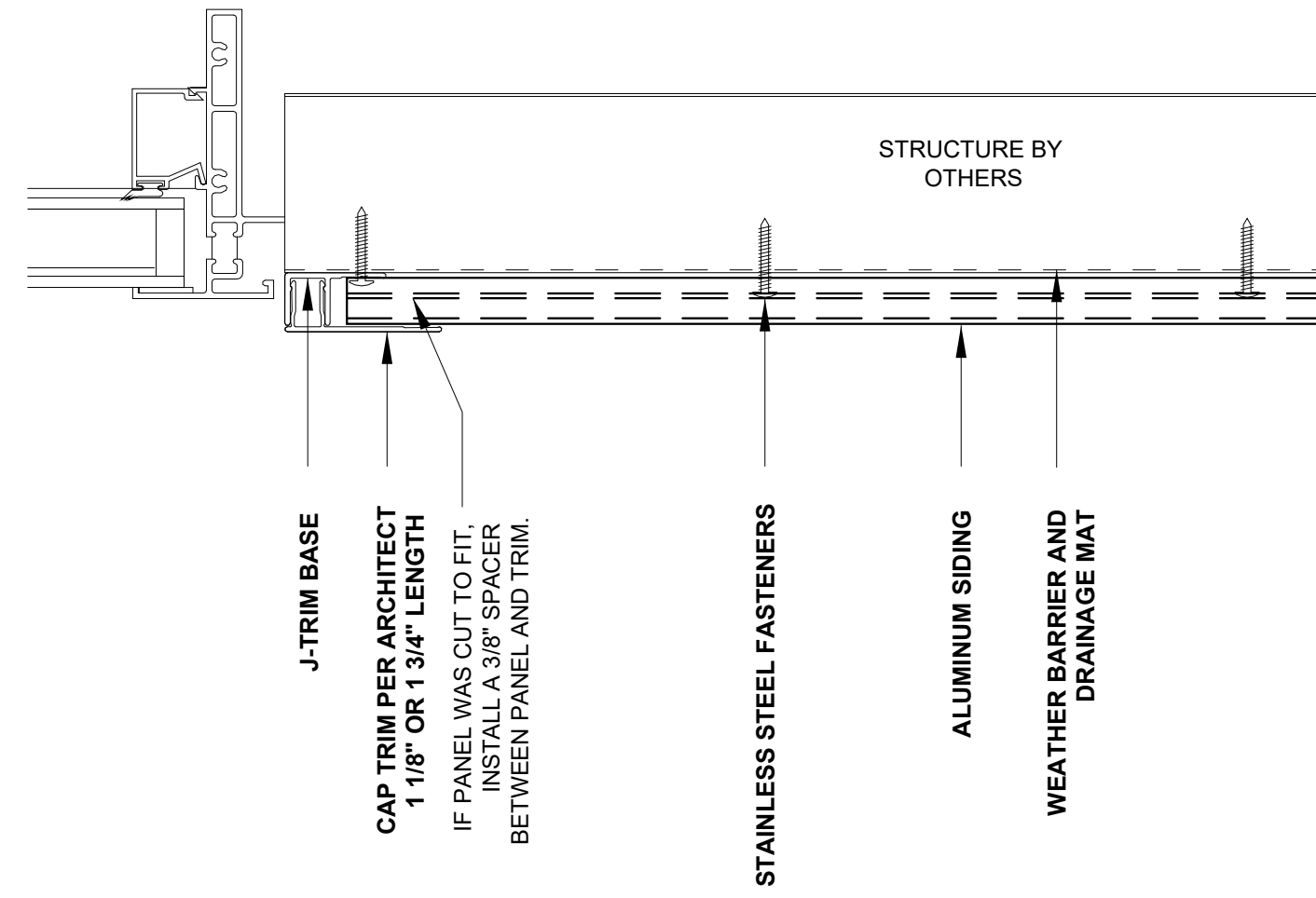
INTERIOR WOOD FRAMED STAIR 6
 3/4\"/>

NOTE
KEEP 3/16" BETWEEN THE TRIM AND THE PLANK TO ALLOW FOR EXPANSION AND CONTRACTION.



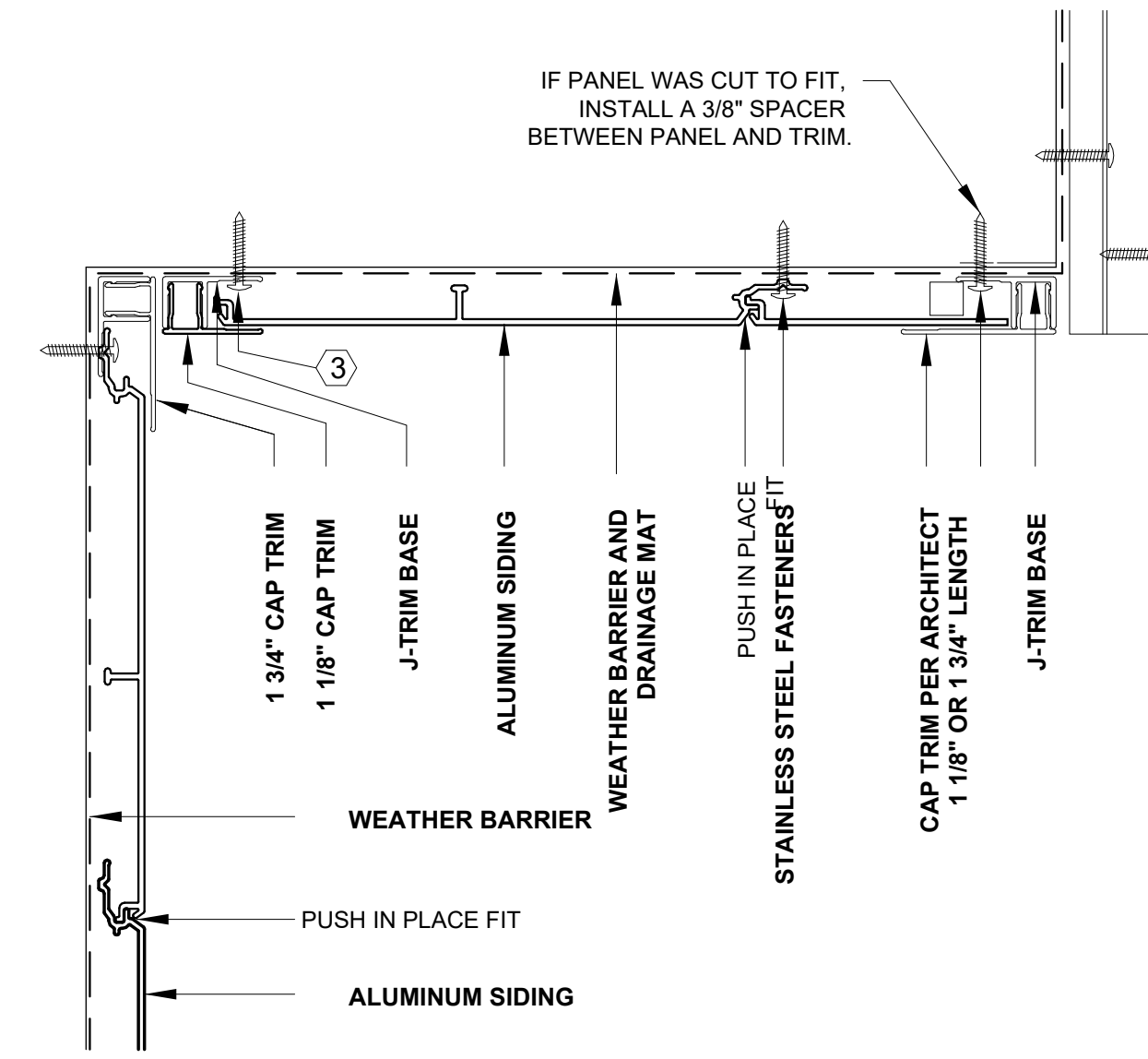
WINDOW SILL - RAINSCREEN ALUMINUM SIDING ①
6" = 1'-0"

NOTE
KEEP 3/16" BETWEEN THE TRIM AND THE PLANK TO ALLOW FOR EXPANSION AND CONTRACTION.



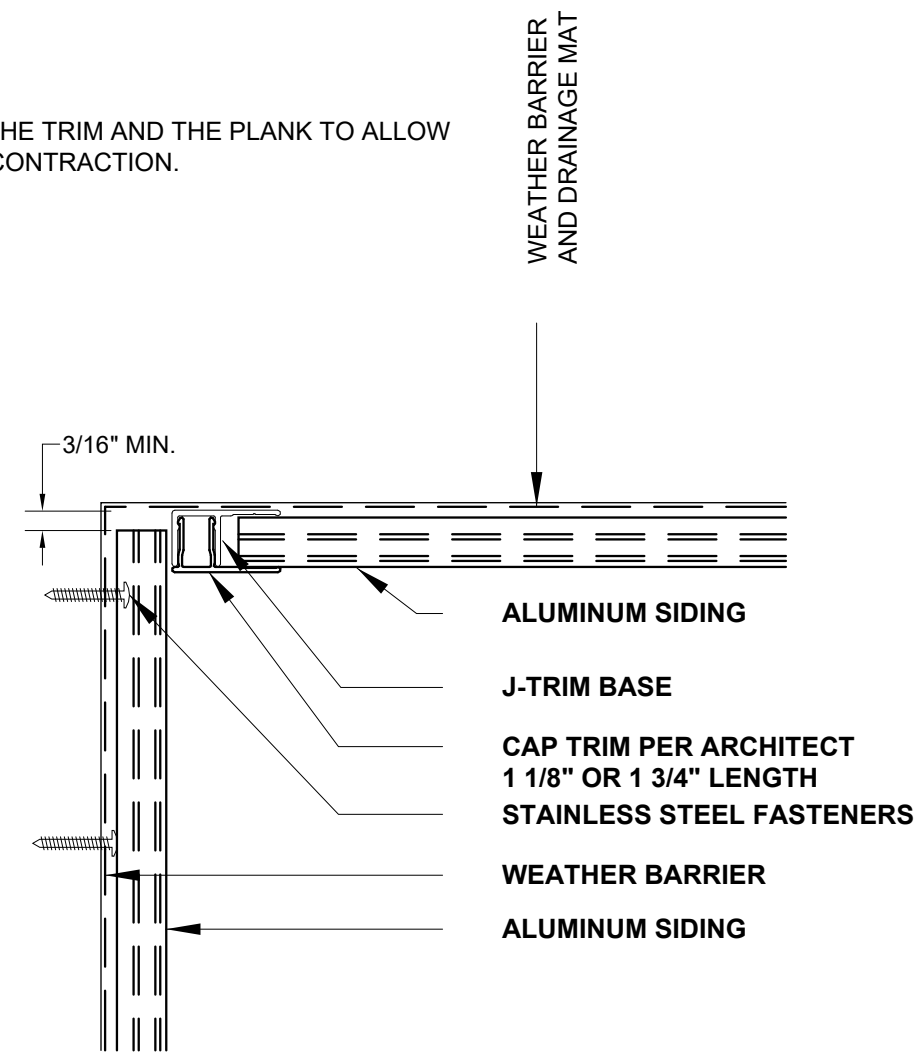
WINDOW JAMB- RAINSCREEN ALUMINUM SIDING ②
6" = 1'-0"

NOTE
KEEP 3/16" BETWEEN THE TRIM AND THE PLANK TO ALLOW FOR EXPANSION AND CONTRACTION.



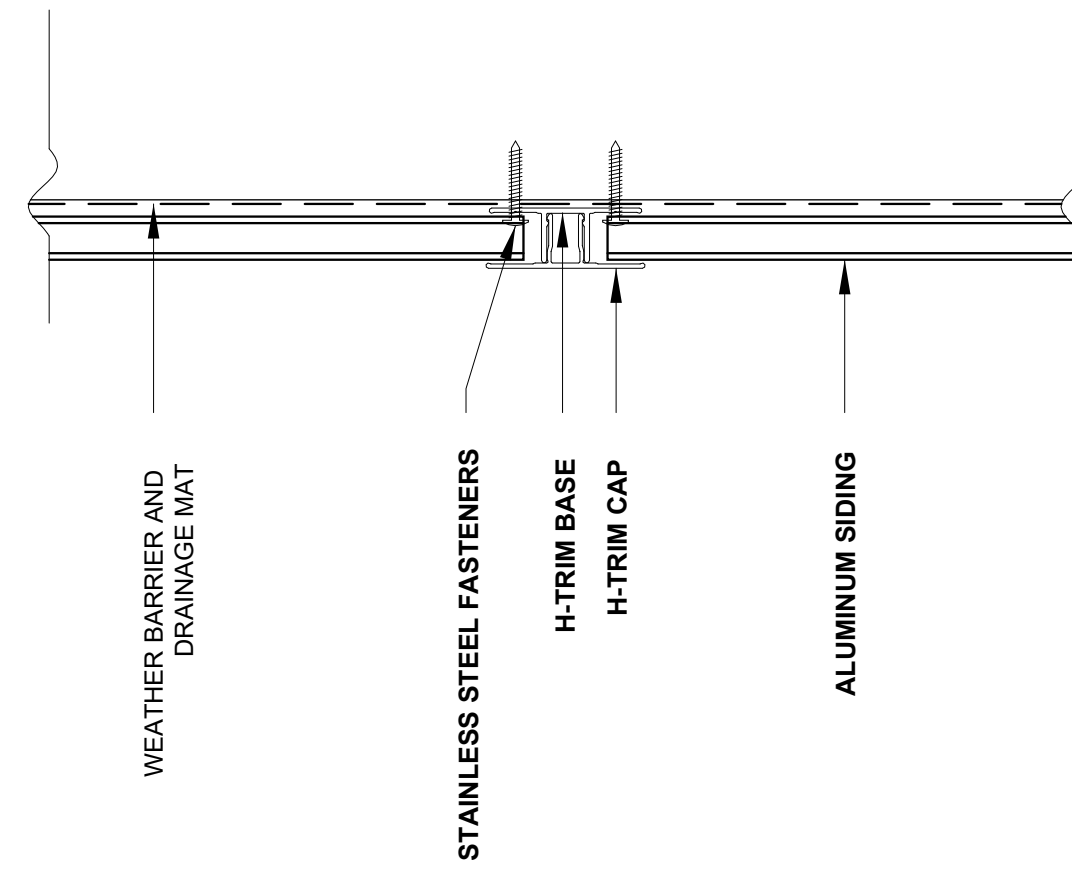
SOFFIT- RAINSCREEN ALUMINUM SIDING ③
6" = 1'-0"

NOTE
KEEP 3/16" BETWEEN THE TRIM AND THE PLANK TO ALLOW FOR EXPANSION AND CONTRACTION.



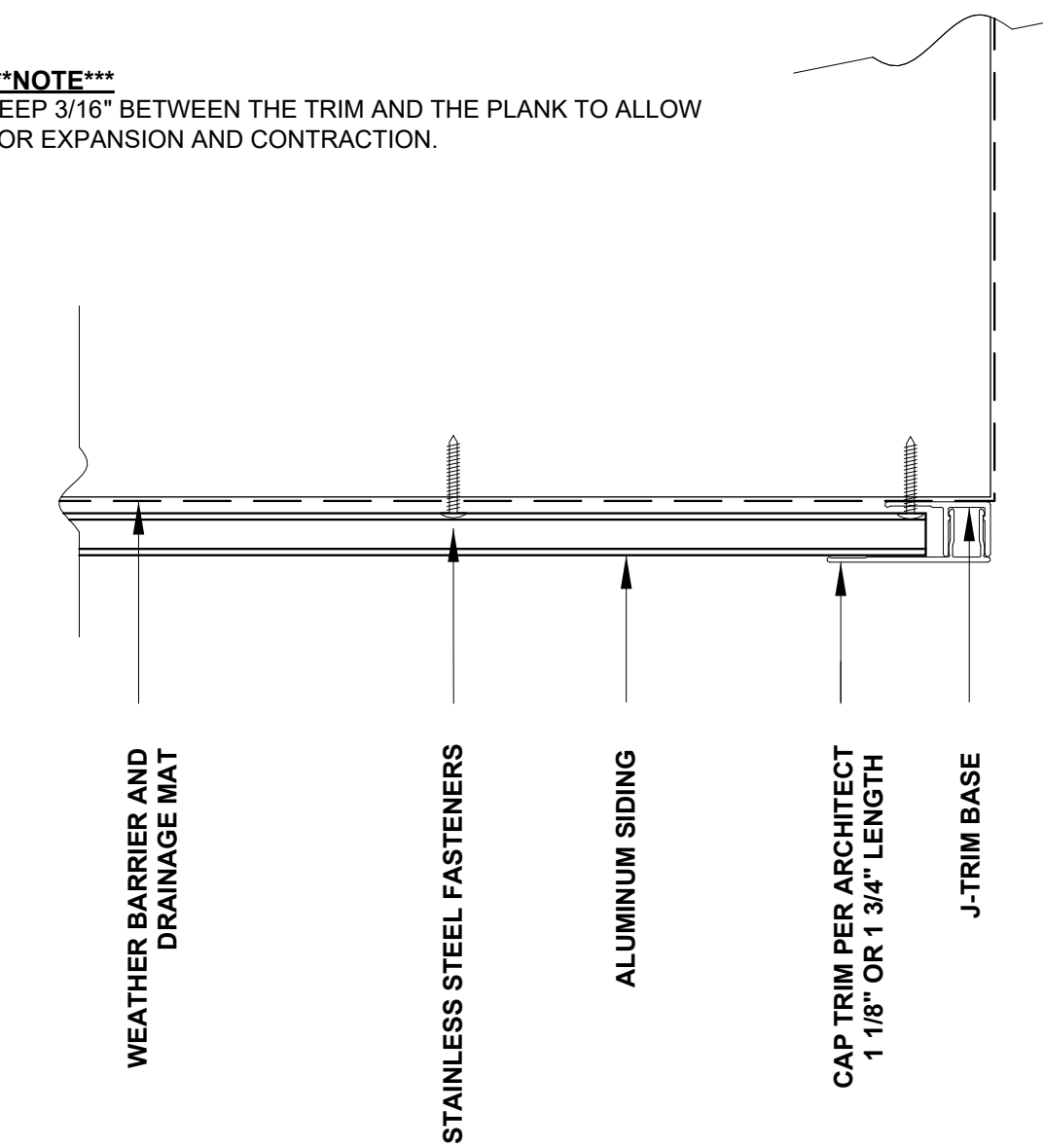
INSIDE CORNER- RAINSCREEN ALUMINUM SIDING ④
6" = 1'-0"

NOTE
KEEP 3/16" BETWEEN THE TRIM AND THE PLANK TO ALLOW FOR EXPANSION AND CONTRACTION.



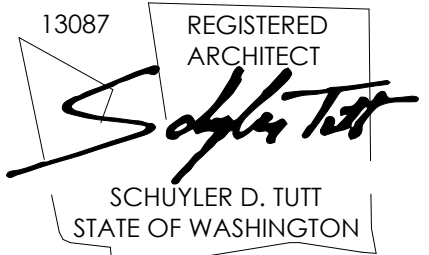
VERTICAL BREAK- RAINSCREEN ALUMINUM SIDING ⑤
6" = 1'-0"

NOTE
KEEP 3/16" BETWEEN THE TRIM AND THE PLANK TO ALLOW FOR EXPANSION AND CONTRACTION.



OUTSIDE CORNER- RAINSCREEN ALUMINUM SIDING ⑥
6" = 1'-0"

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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

DETAILS - SIDING

DRAWN BY: DRA
CHECKED BY: JWH

PHASE:

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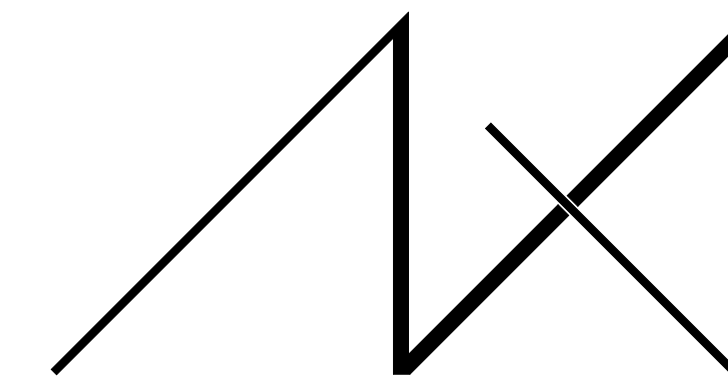
6773654-CN

PROJECT No.: A22 087

DATE: 10/30/2023

A6.4

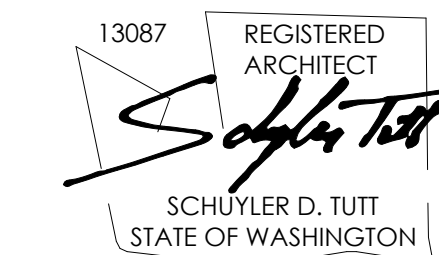
PLOT SCALE: 1:1



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LNL BUILDS

PROJECT ADDRESS:
2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

DETAILS - SIDING

DRAWN BY: DRA
CHECKED BY: JWH

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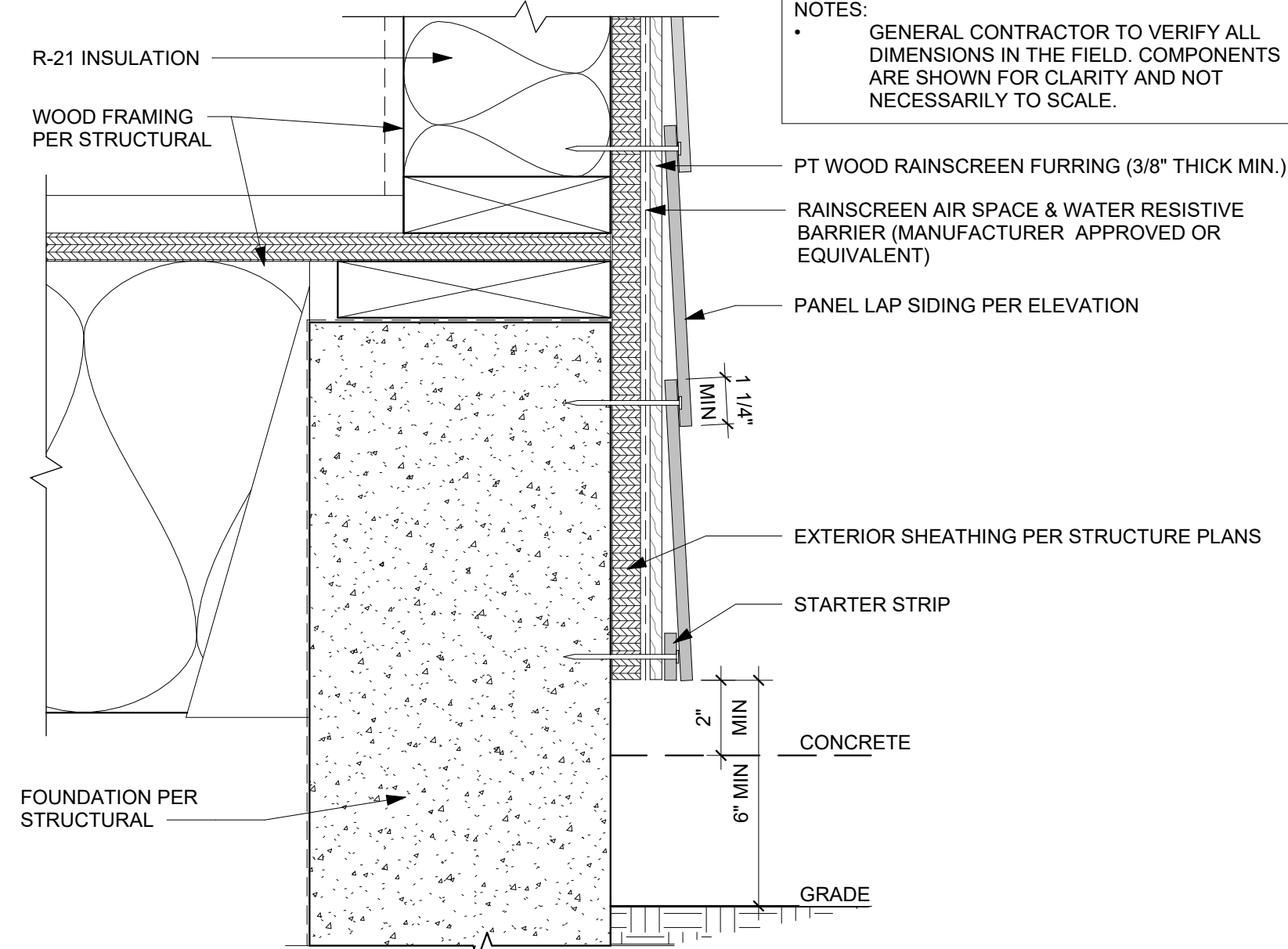
APPROVED FOR CONSTRUCTION:

PROJECT No.: A22 087
DATE: 10/30/2023

A6.5

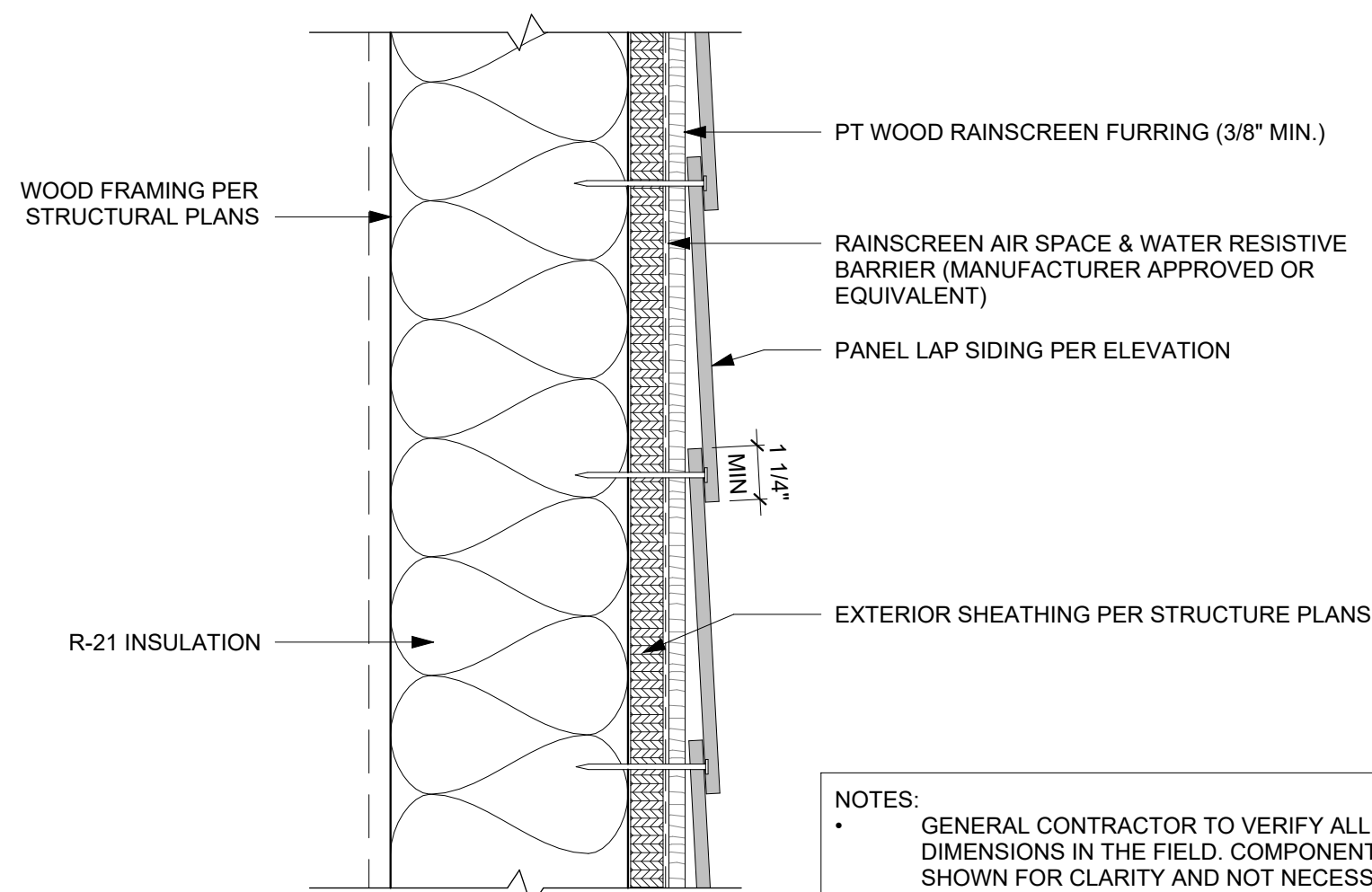
PLOT SCALE: 1:1

NOTES:
• GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.



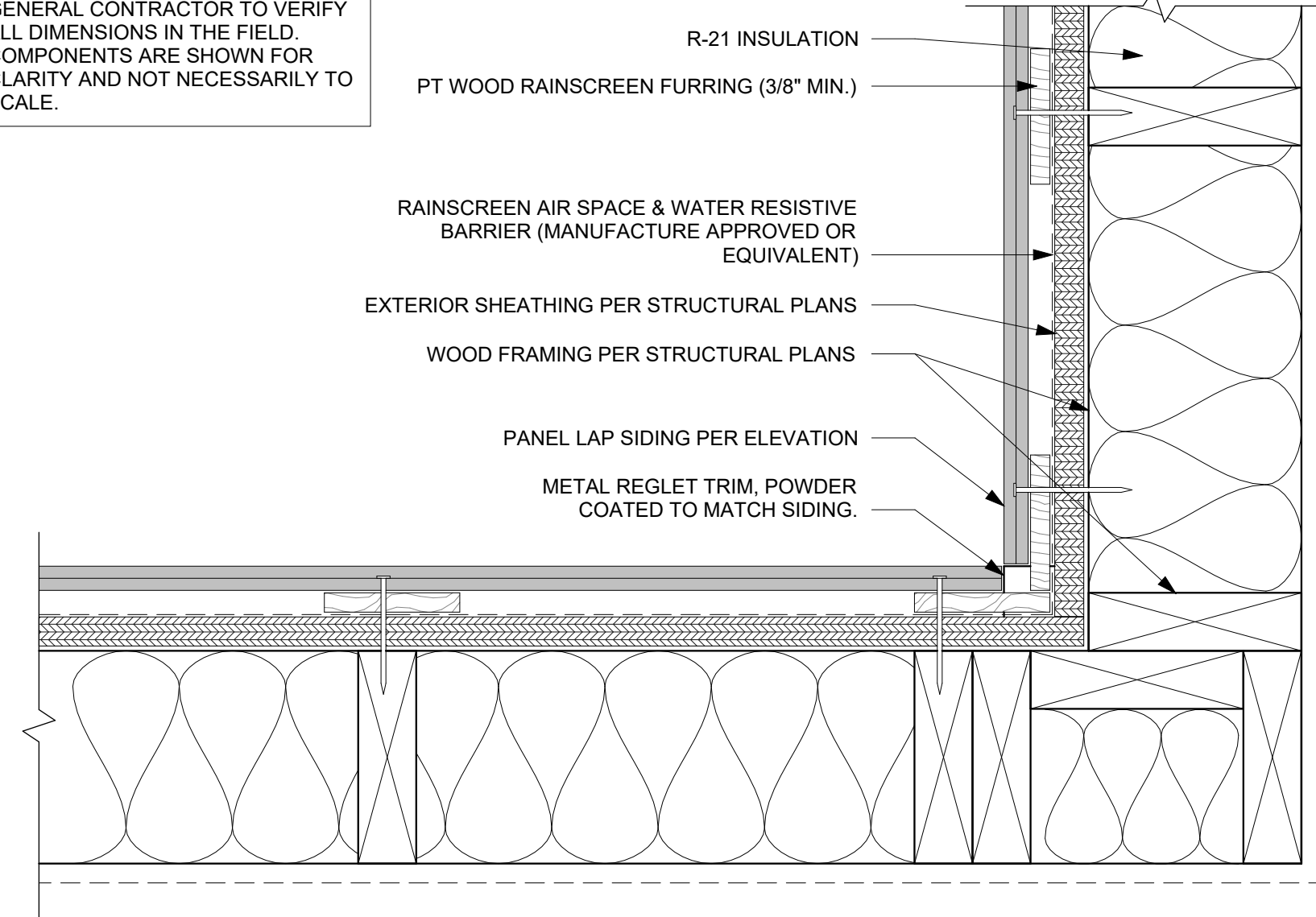
FIBER CEMENT LAP - GRADE CLEARANCE 3" = 1'-0" 1

NOTES:
• GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.



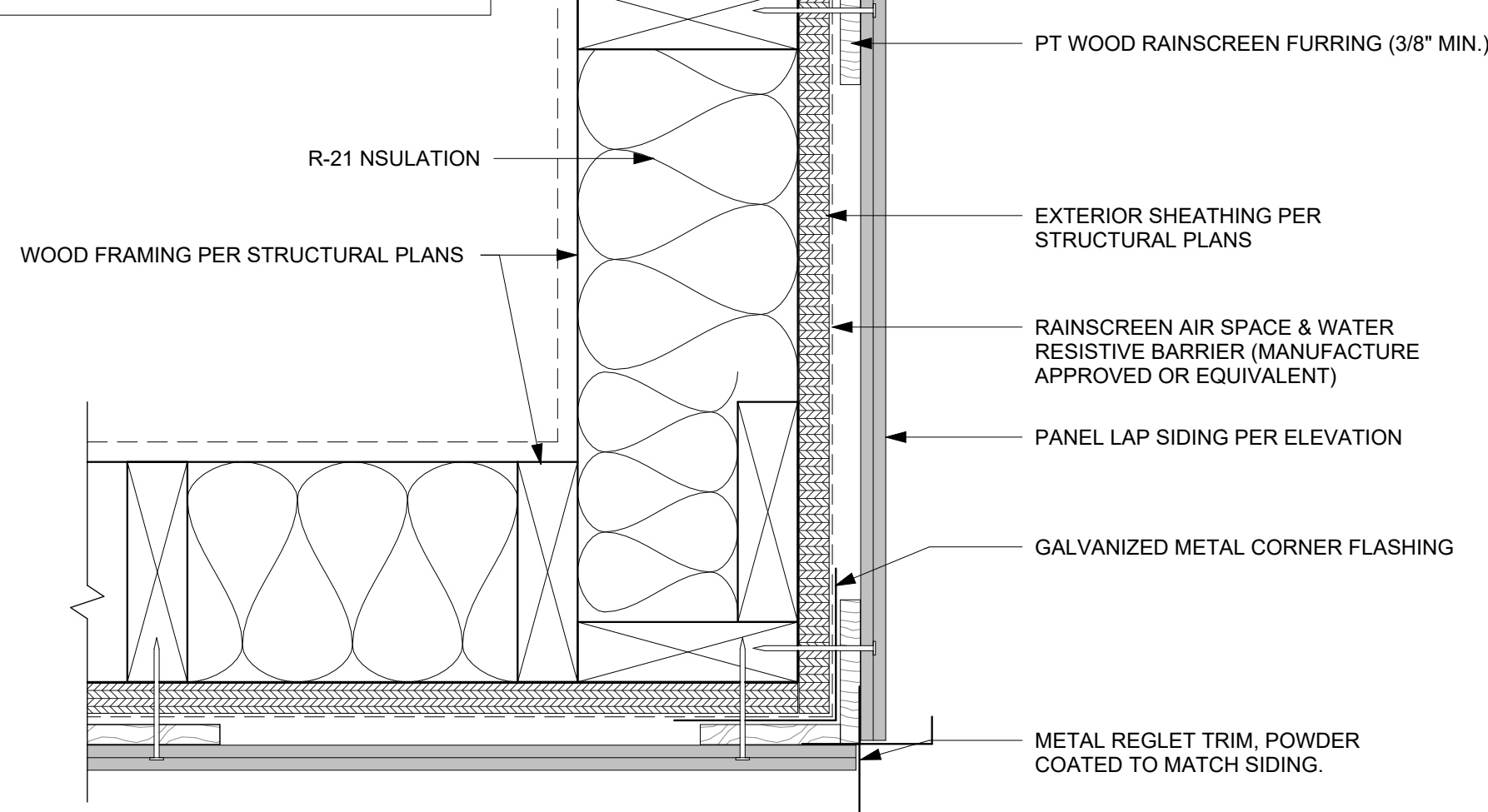
FIBER CEMENT LAP - HORIZONTAL LAP 3" = 1'-0" 2

NOTES:
• GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.

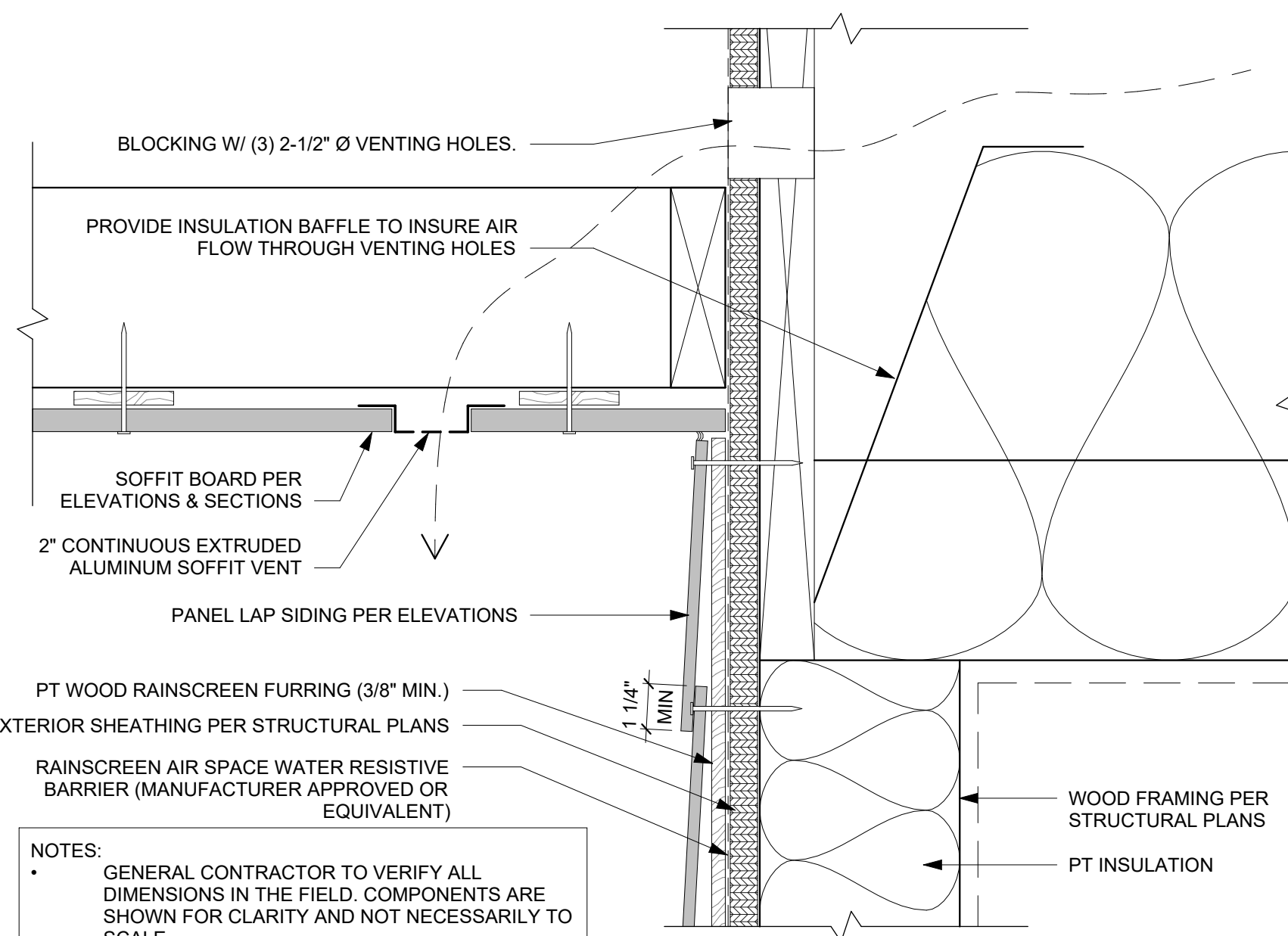


FIBER CEMENT LAP - INSIDE CORNER 3" = 1'-0" 3

NOTES:
• GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.

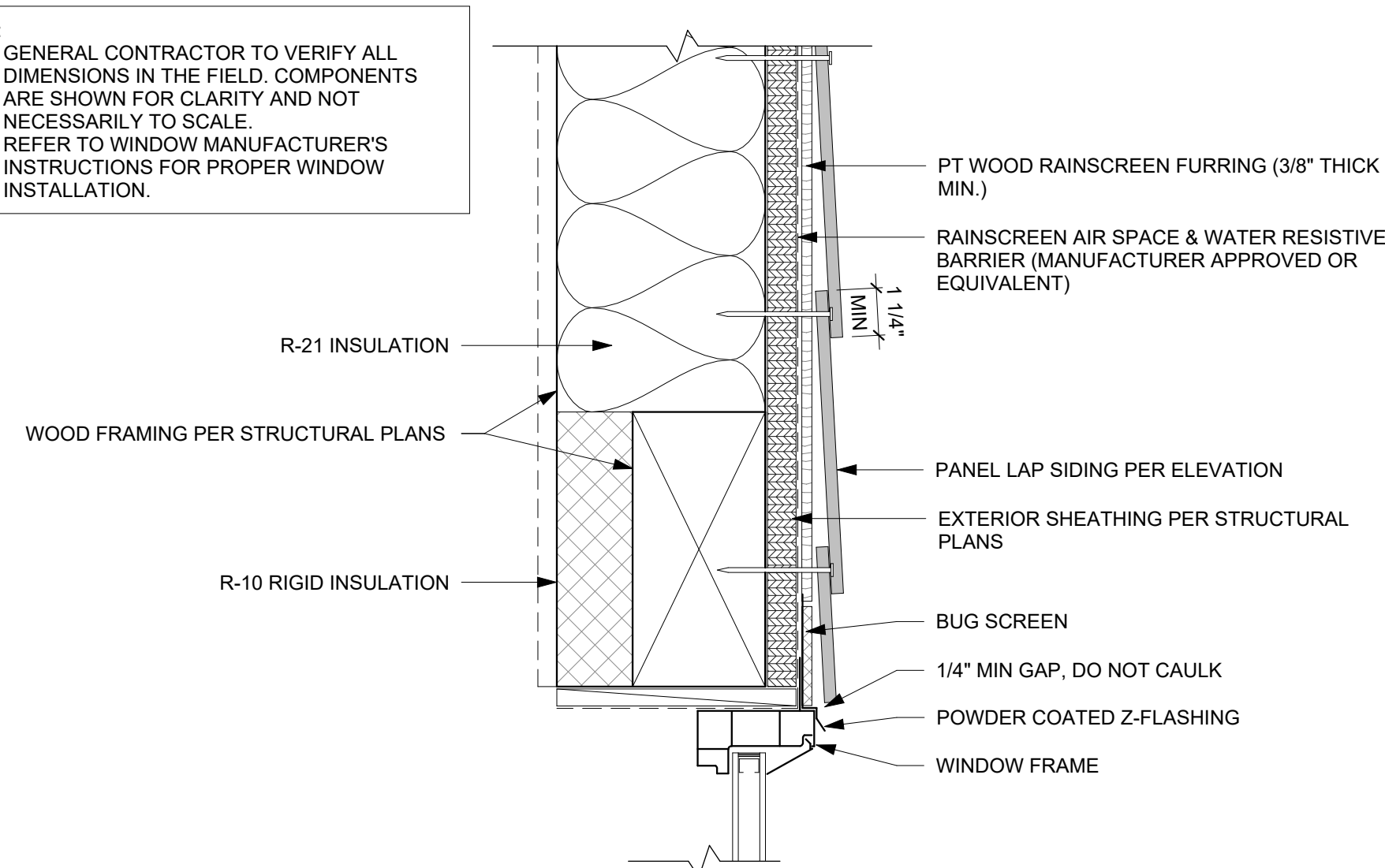


FIBER CEMENT LAP - OUTSIDE CORNER 3" = 1'-0" 4



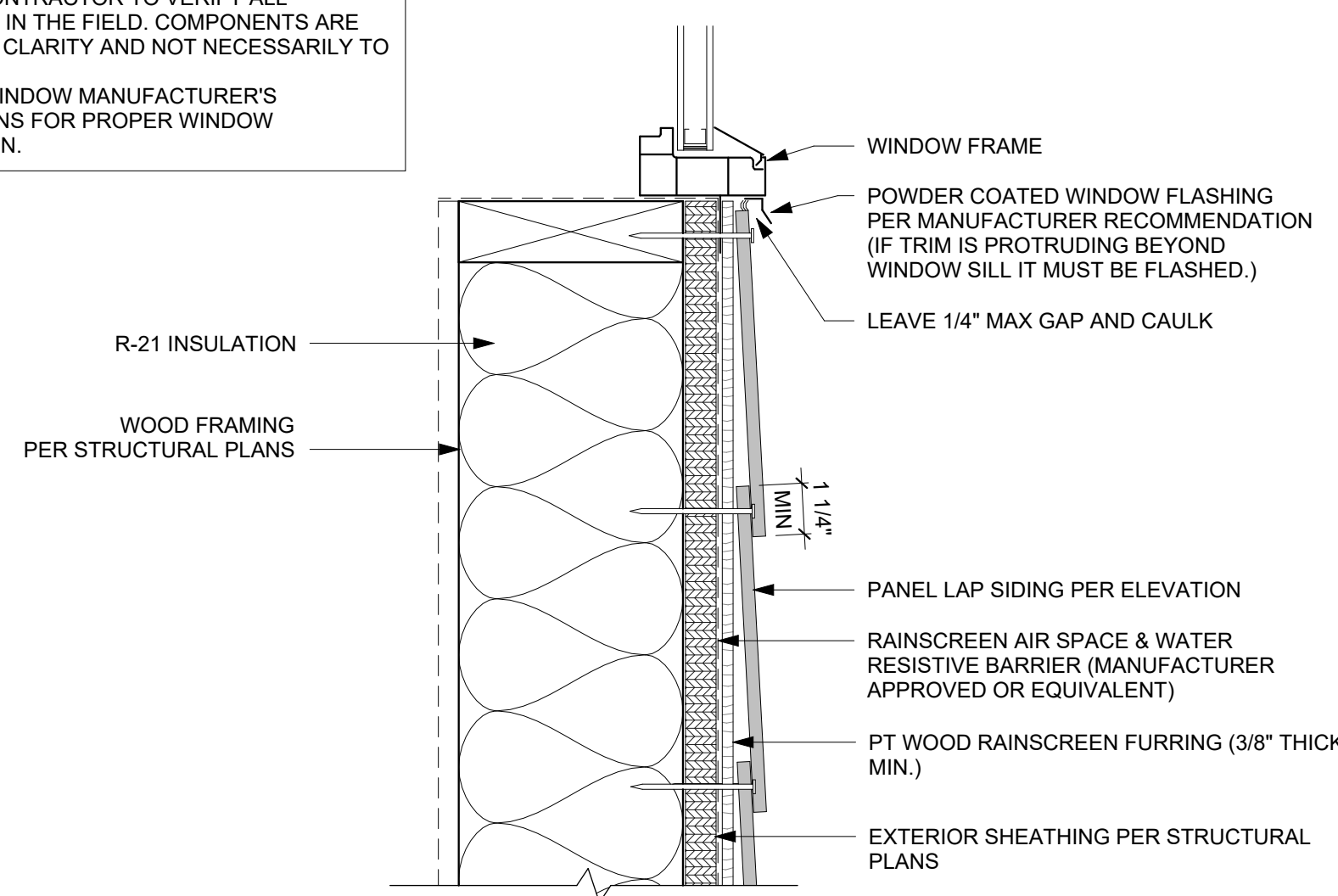
FIBER CEMENT LAP - WALL & VENTED SOFFIT 3" = 1'-0" 5

NOTES:
• GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE. REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.



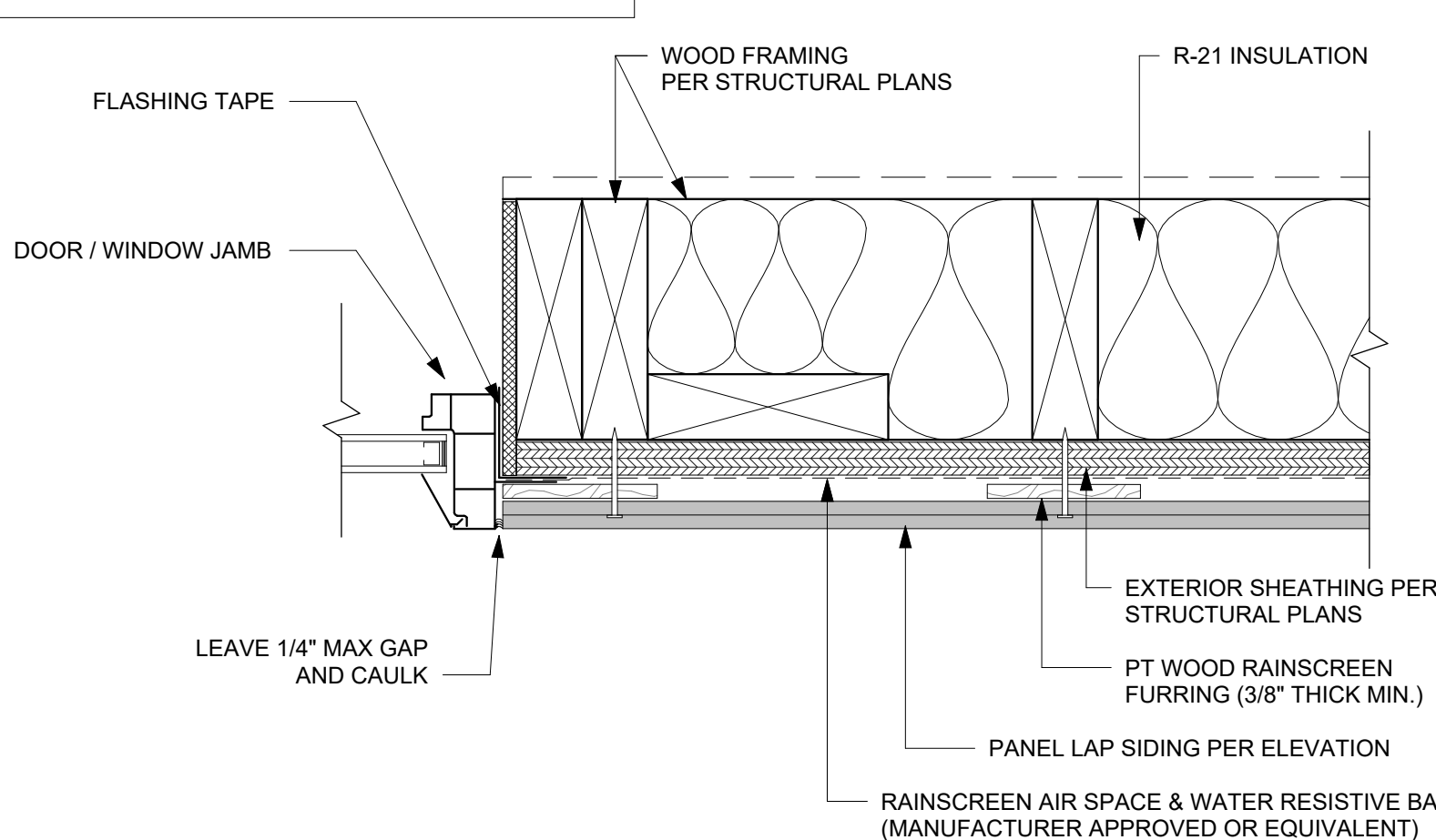
FIBER CEMENT LAP W/O TRIM - WINDOW HEAD 3" = 1'-0" 6

NOTES:
• GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.
• REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.

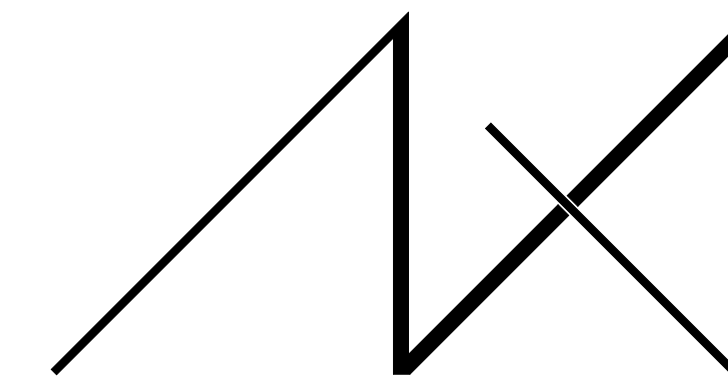


FIBER CEMENT LAP W/O TRIM - WINDOW SILL & TRIM 3" = 1'-0" 7

NOTES:
• GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.
• REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.



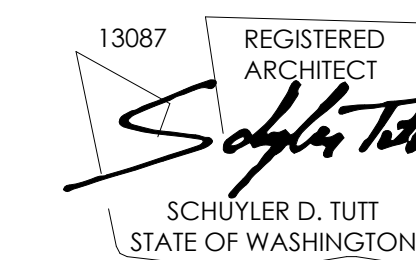
FIBER CEMENT LAP W/O TRIM - WINDOW/DOOR JAMB 3" = 1'-0" 8



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PROJECT / CLIENT:

2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:

2436 74TH AVE SE
MERCER ISLAND, 98040

DRAWING NAME:

DETAILS - SIDING

DRAWN BY: DRA

CHECKED BY: JML

PHASE:

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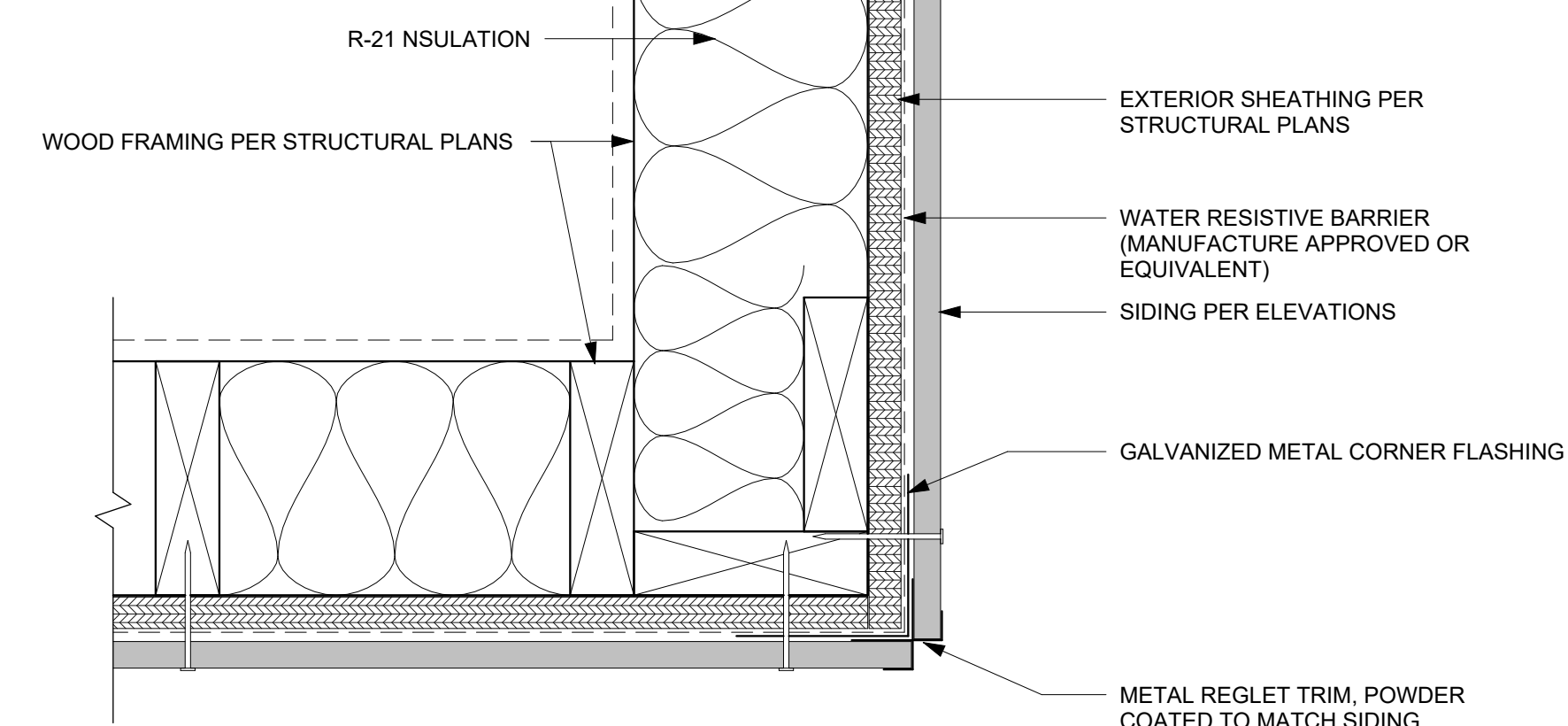
PROJECT No.: A22 087

DATE: 10/30/2023

A6.6

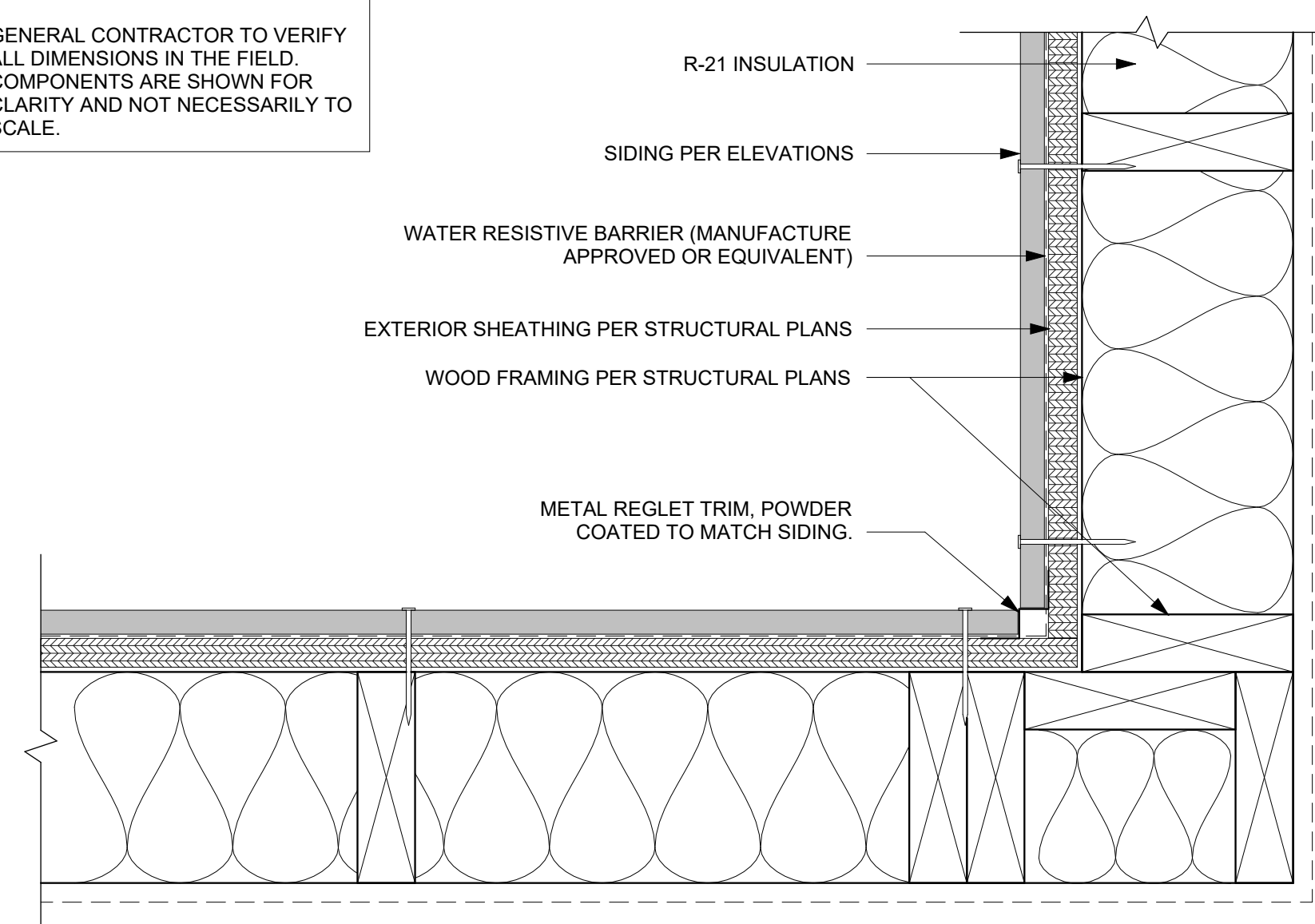
PLOT SCALE: 1:1

NOTES:
GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.

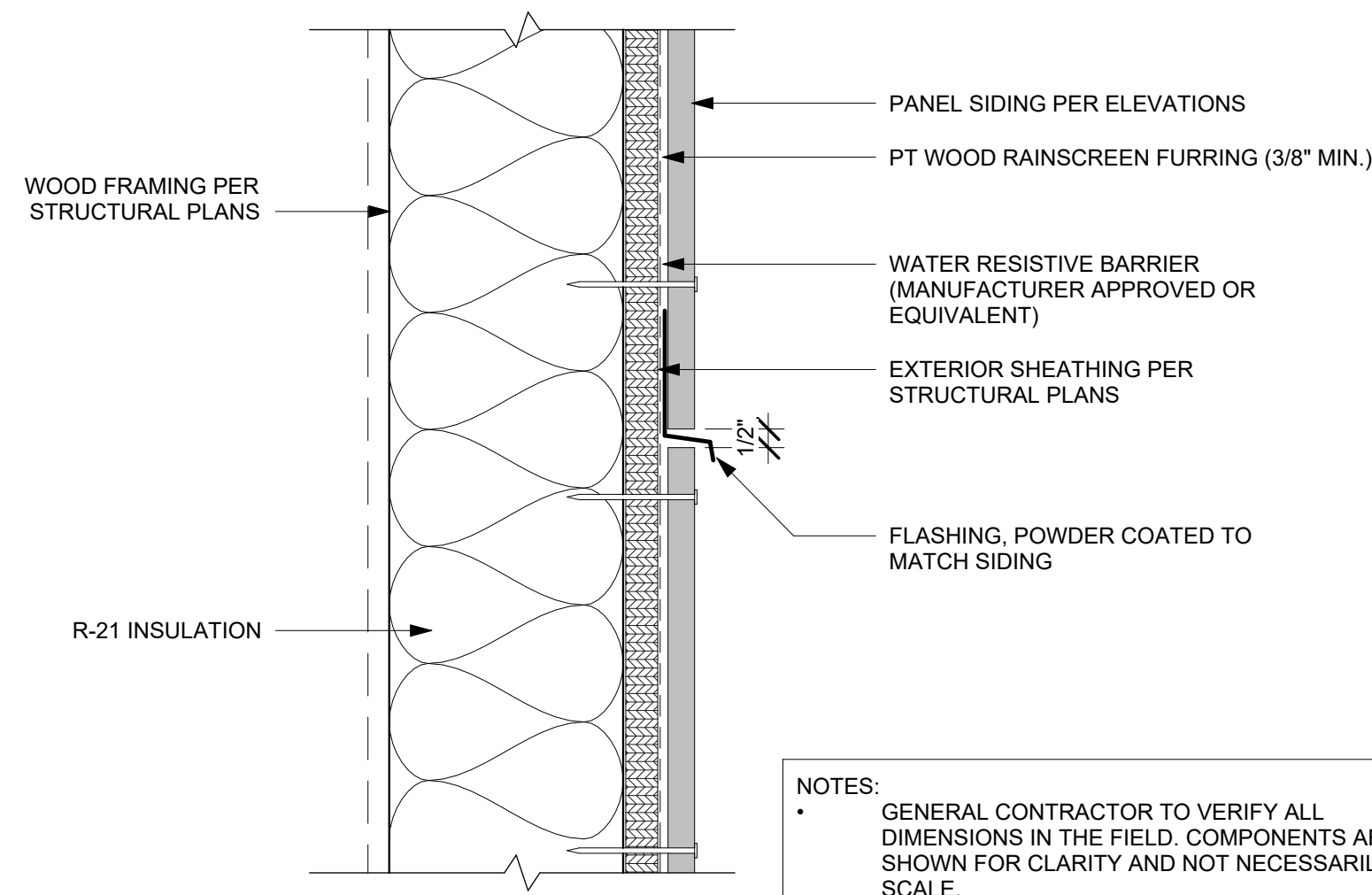


FCB - OUTSIDE CORNER 3
3" = 1'-0"

NOTES:
GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.

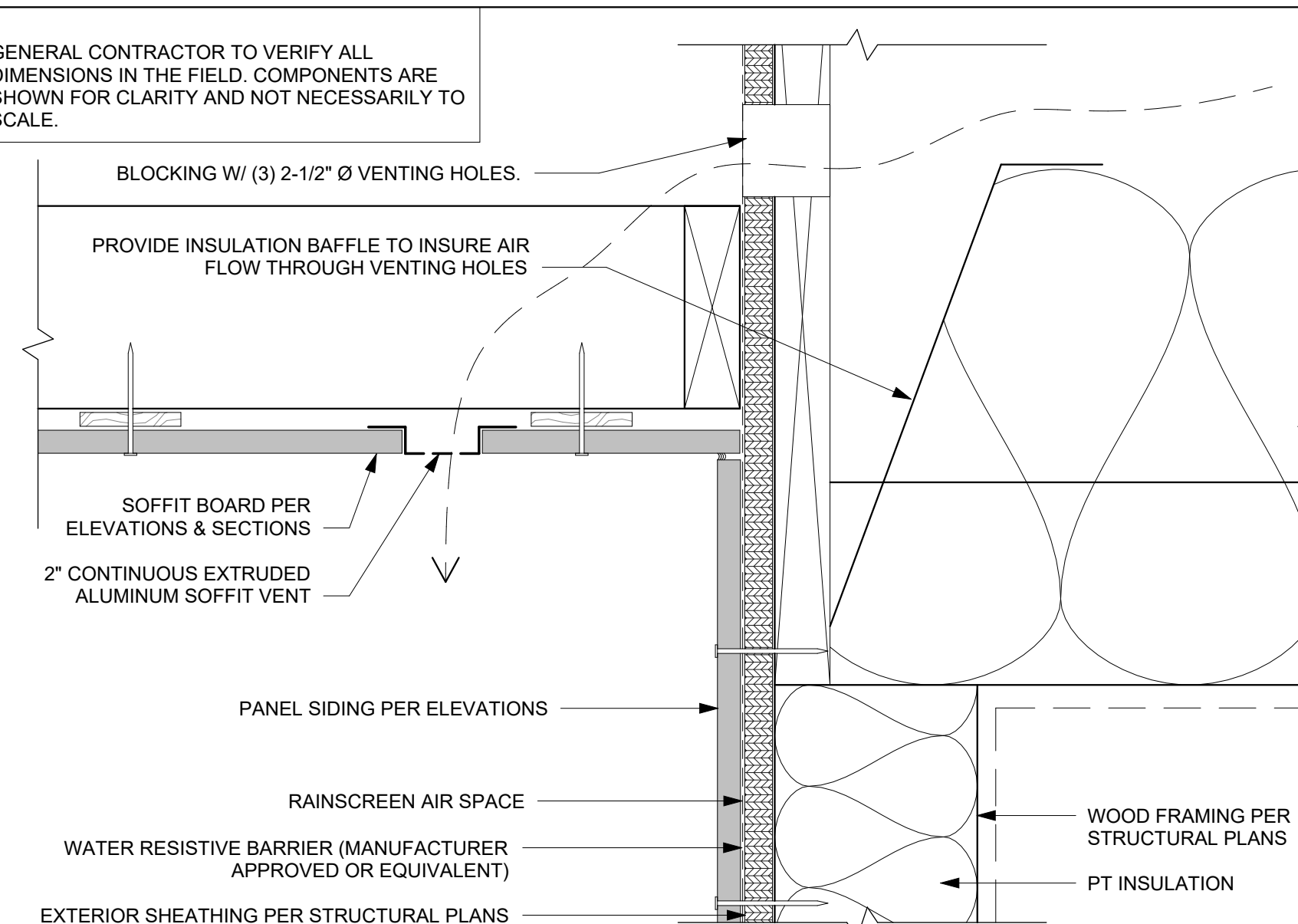


FCB - INSIDE CORNER 2
3" = 1'-0"



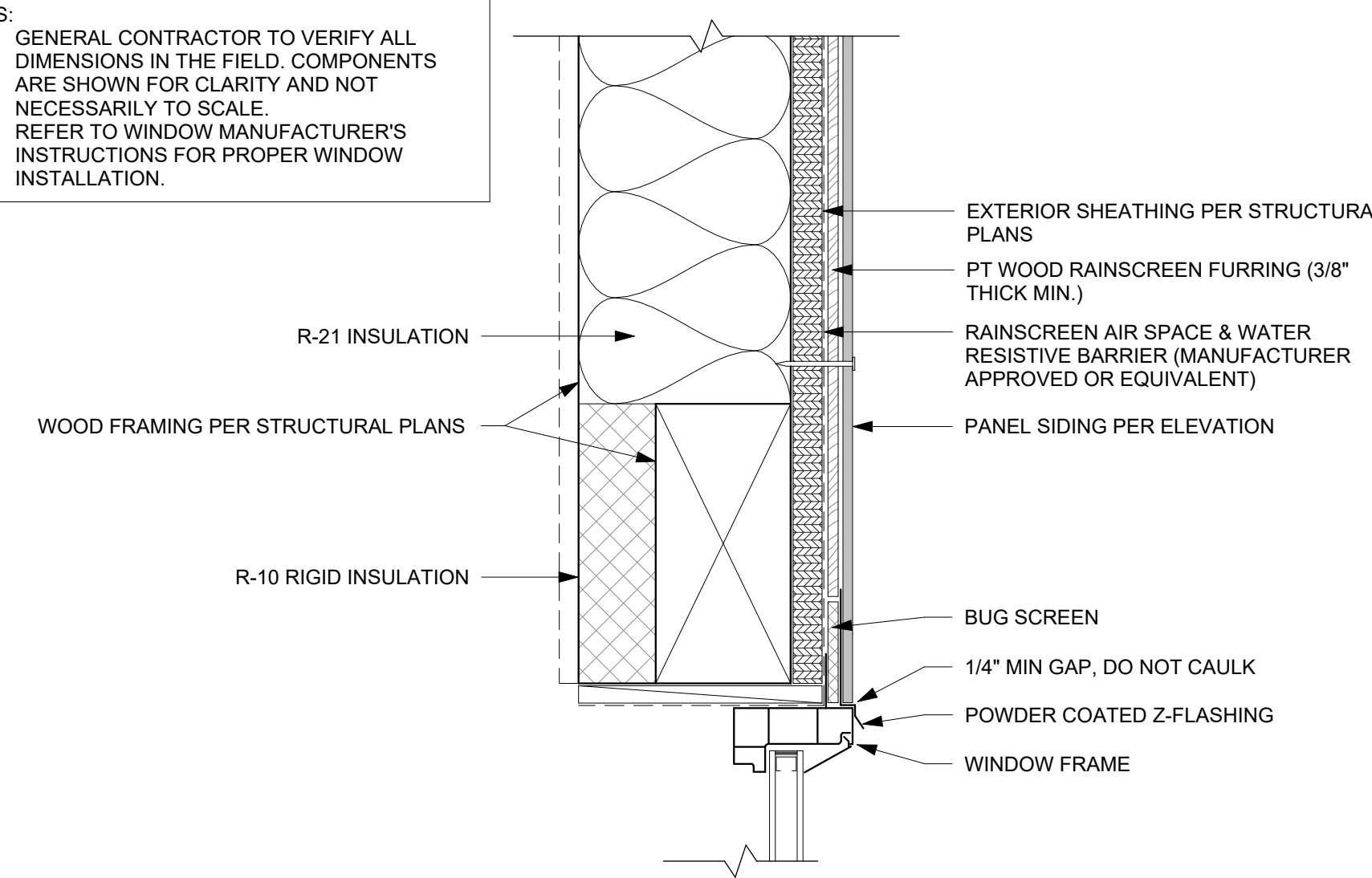
FCB - WALL & SOFFIT 4
3" = 1'-0"

NOTES:
GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE.



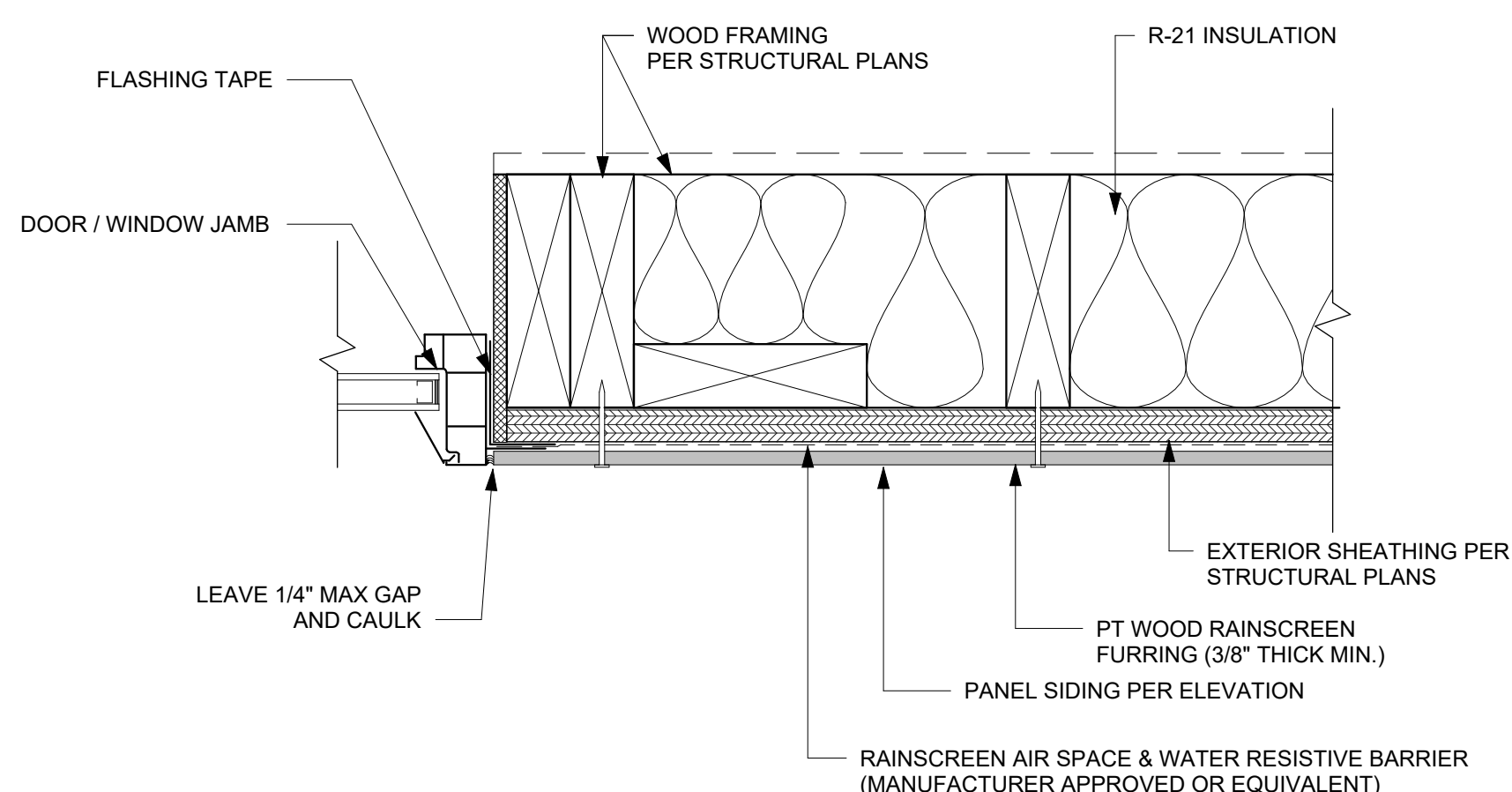
FCB - WALL & VENTED SOFFIT 5
3" = 1'-0"

NOTES:
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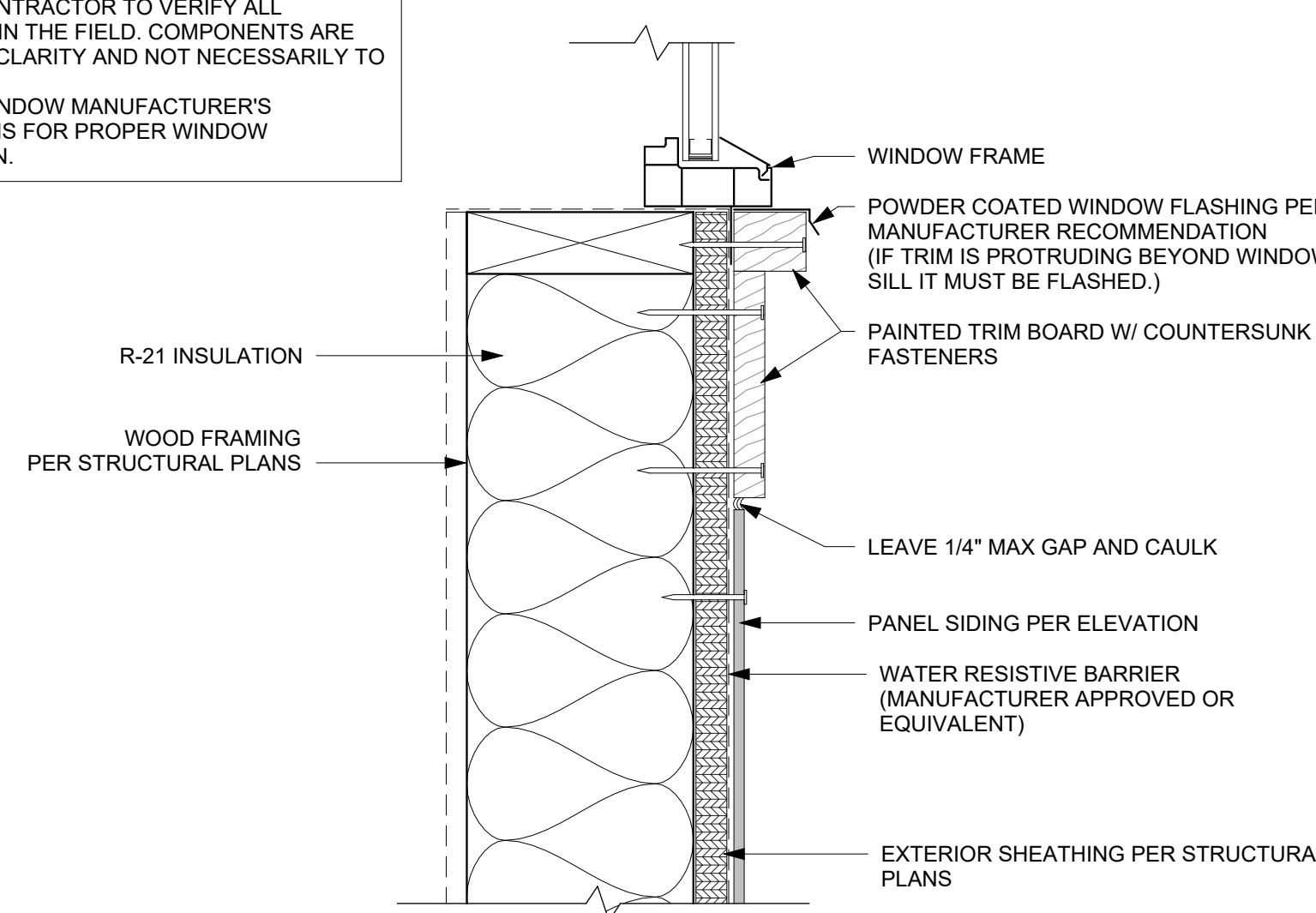
FCB - WINDOW HEAD 6
3" = 1'-0"

NOTES:
GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE. REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.



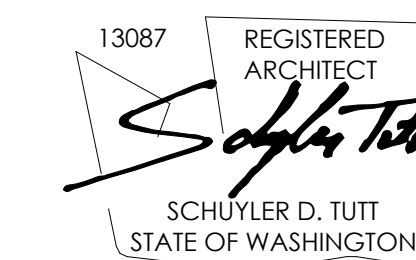
FCB - WINDOW/DOOR JAMB 7
3" = 1'-0"

NOTES:
GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD. COMPONENTS ARE SHOWN FOR CLARITY AND NOT NECESSARILY TO SCALE. REFER TO WINDOW MANUFACTURER'S INSTRUCTIONS FOR PROPER WINDOW INSTALLATION.



FCB WINDOW SILL 8
3" = 1'-0"

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PROJECT / CLIENT:
2436 74TH AVE SE - SFR

LNL BUILDS

PROJECT ADDRESS:
 2436 74TH AVE SE
 MERCER ISLAND, 98040

DRAWING NAME:

DETAILS - ROOF

DRAWN BY: DRA
 CHECKED BY: JWH

PHASE:

CONSTRUCTION DRAWINGS

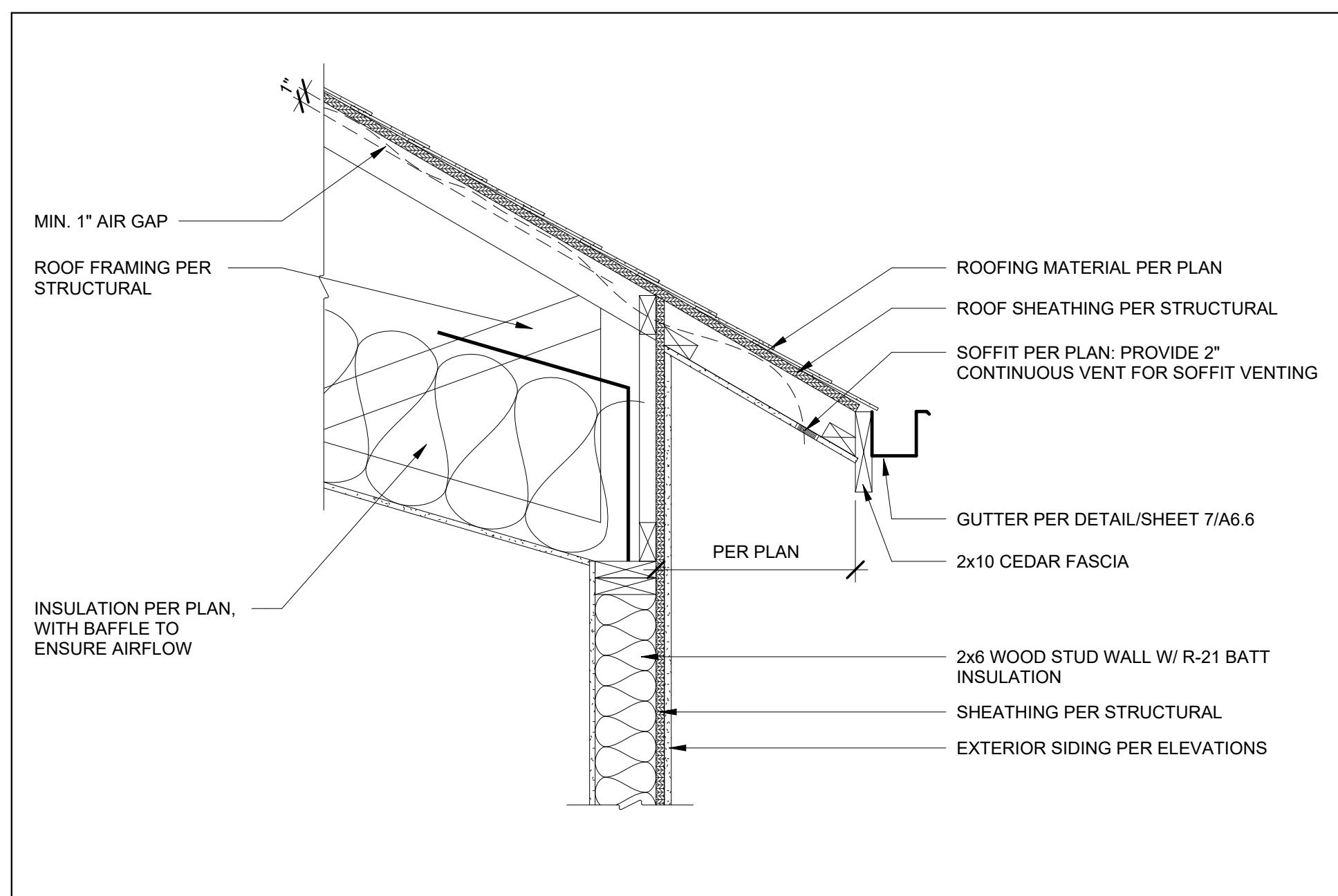
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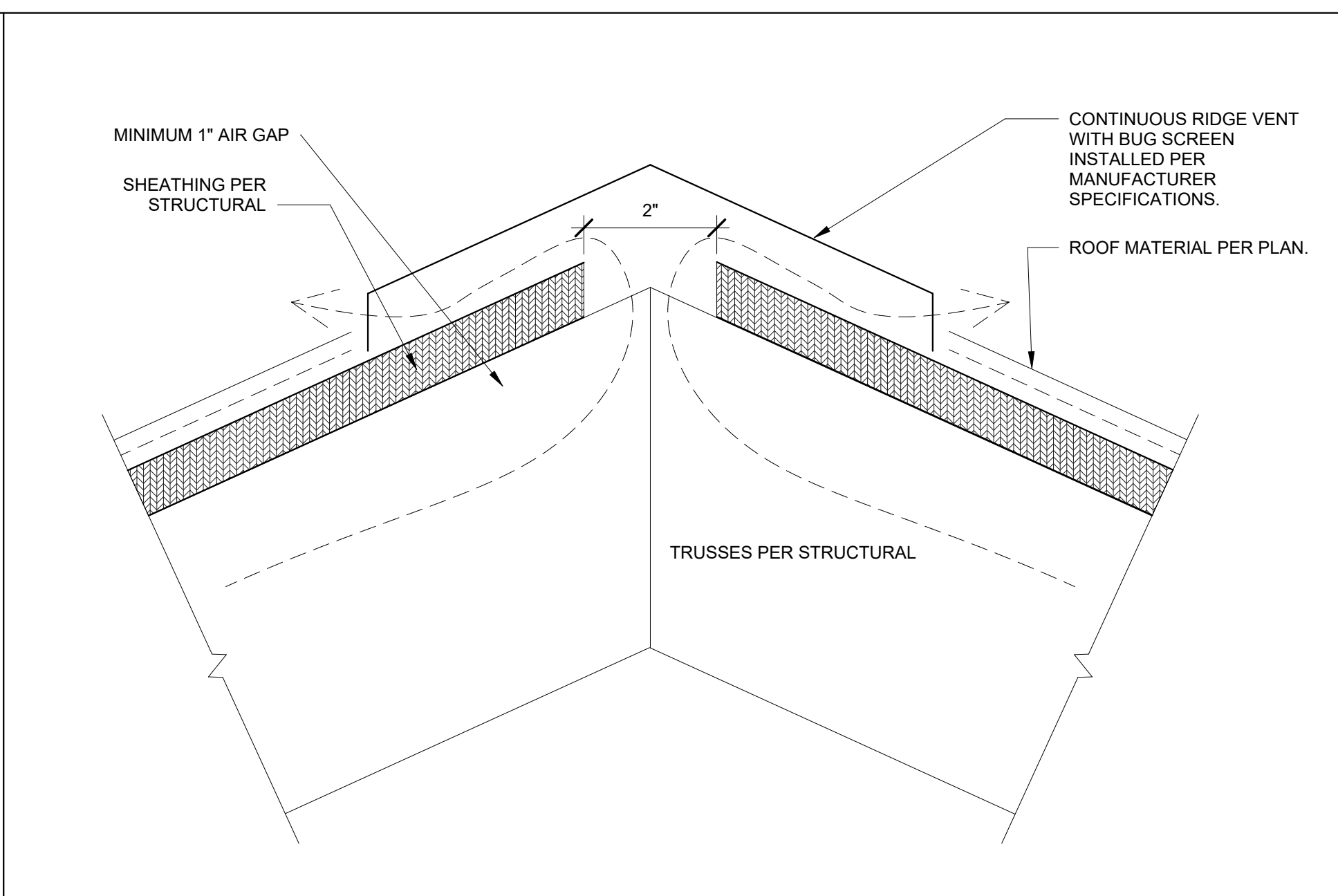
PROJECT No.: A22 087
 DATE: 10/30/2023

A6.7

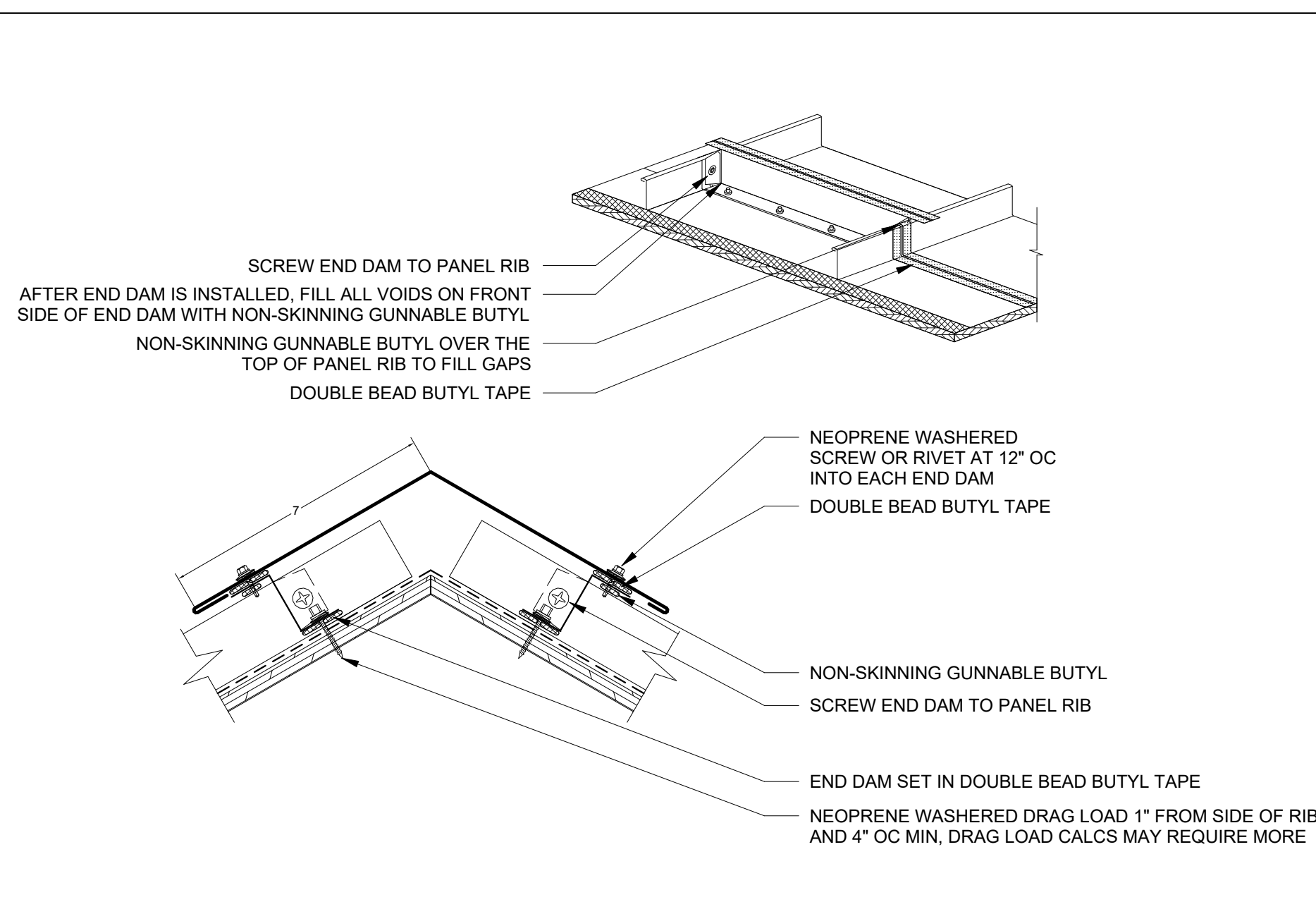
PLOT SCALE: 1:1



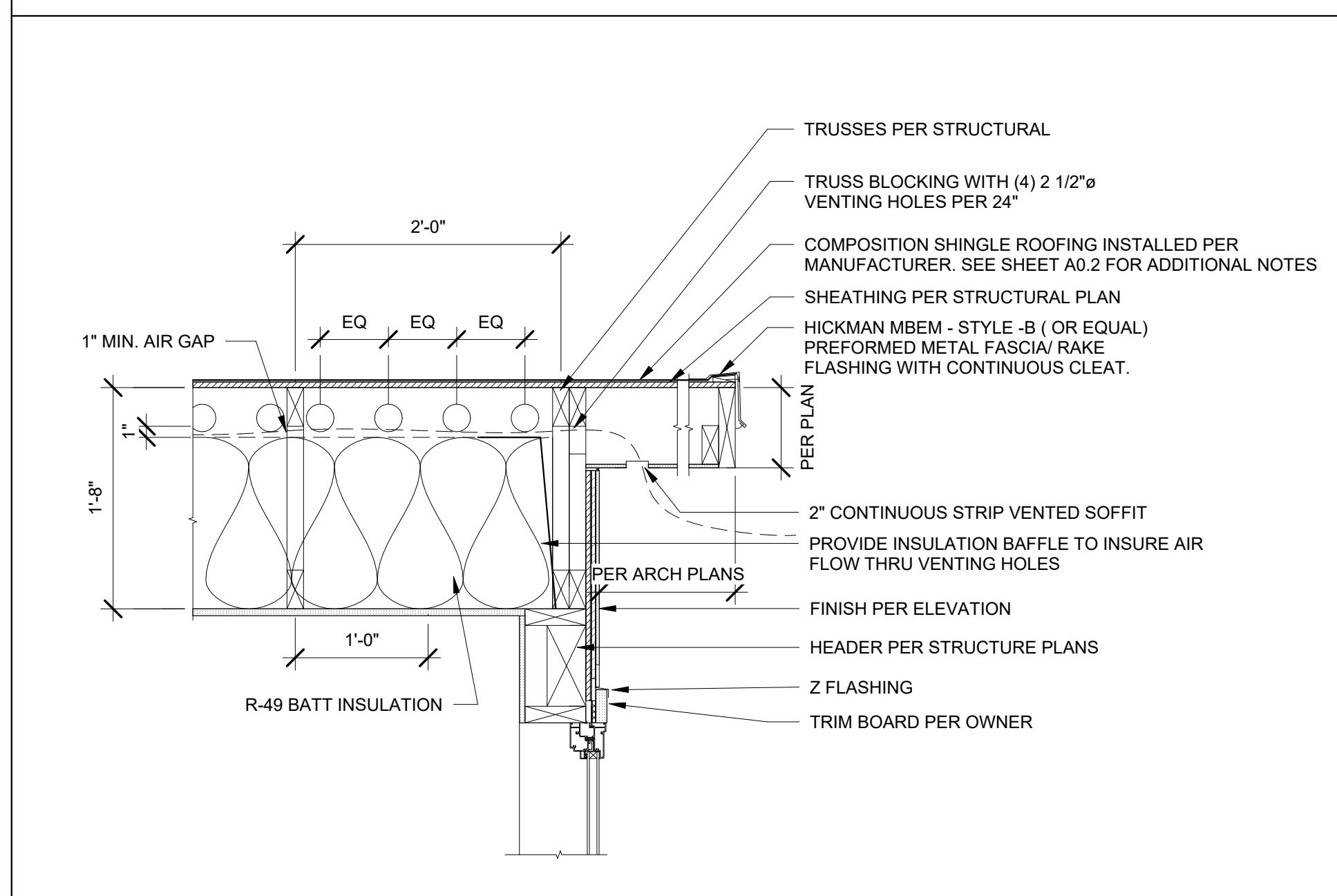
VENTED ROOF DETAIL 1
 1" = 1'-0"



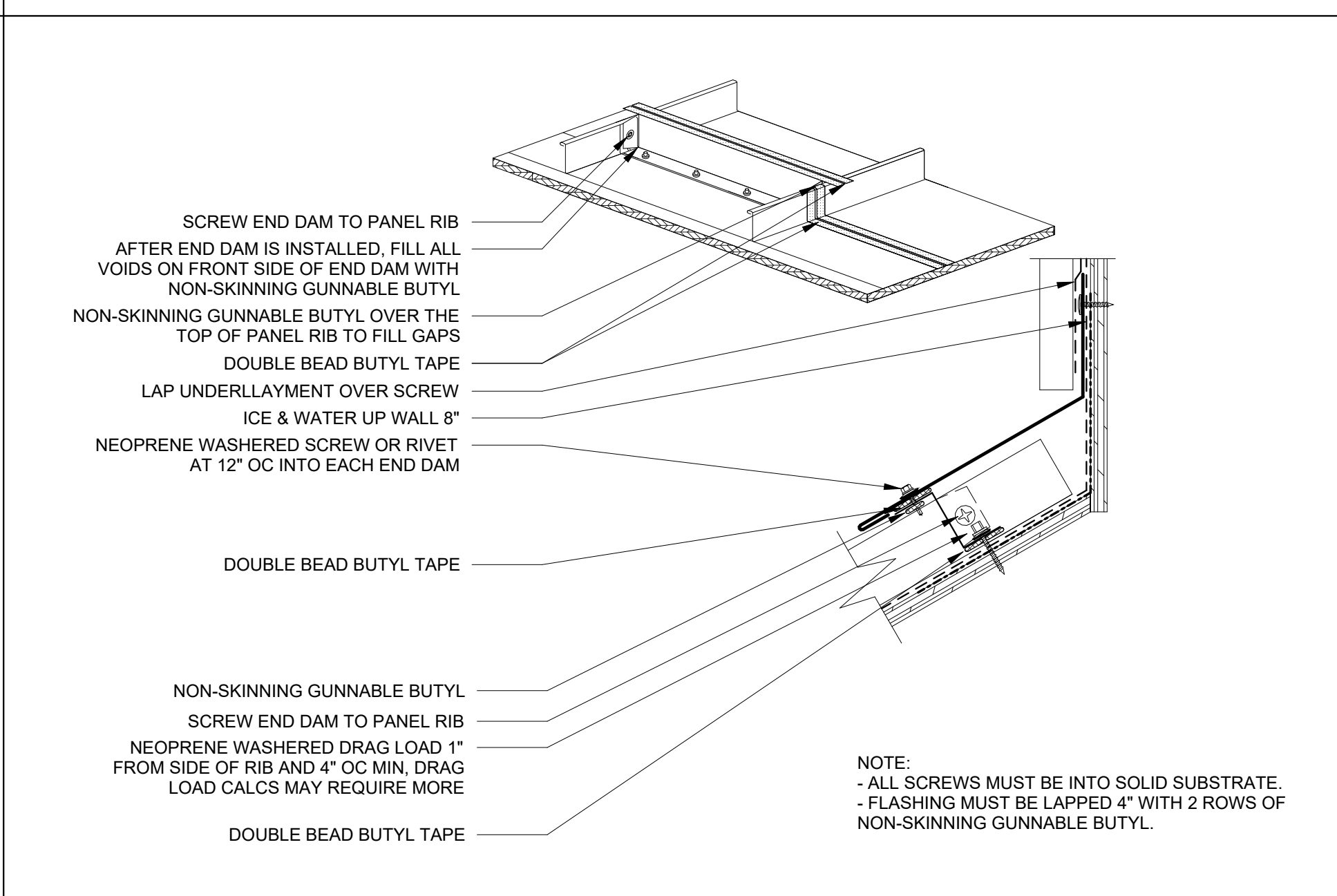
VENTED ROOF - RIDGE VENT 2
 6" = 1'-0"



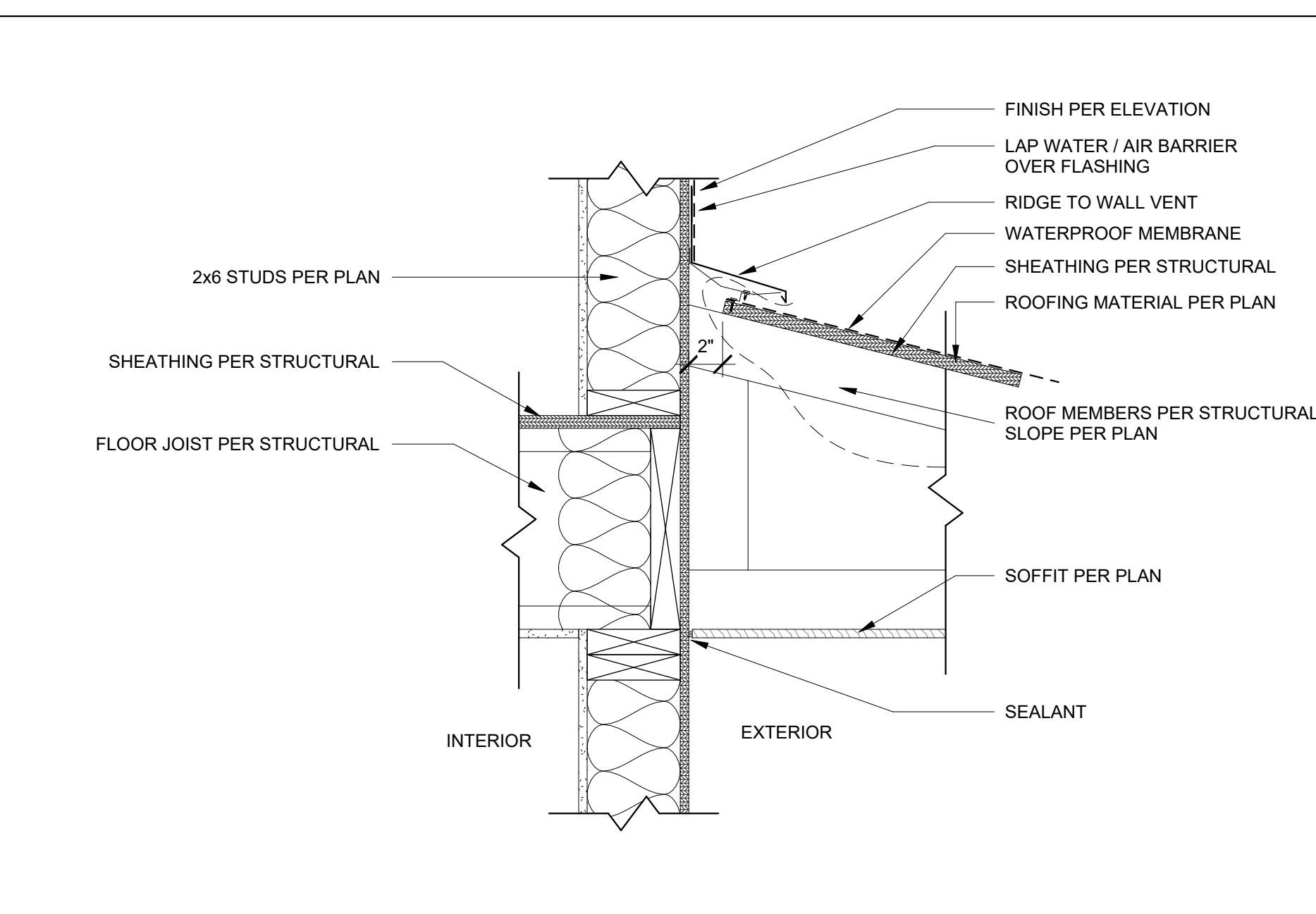
STANDING SEAM STANDARD RIDGE 3
 3" = 1'-0"



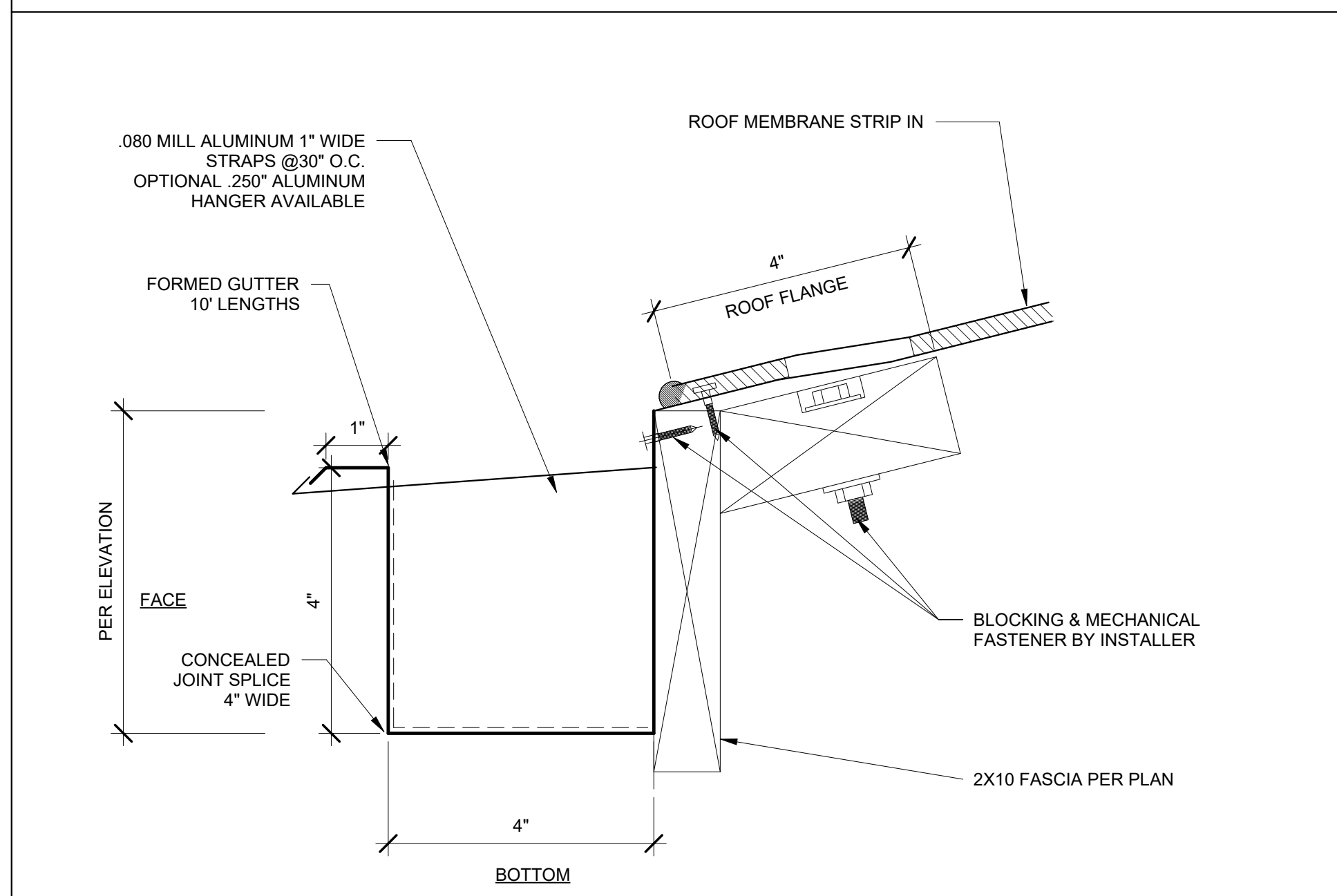
VENTED RAKE DETAIL 4
 1" = 1'-0"



STANDING SEAM END WALL FLASHING 5
 3" = 1'-0"



VENTED ROOF DETAIL - TYPICAL ROOF TO WALL 6
 1 1/2" = 1'-0"



4" GUTTER BOX 7
 6" = 1'-0"

GARAGE SLAB
4" CONC. SLAB ON GRADE ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

BASEMENT SLAB
4" CONC. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

SLAB-ON-GRADE
4" CONC. SLAB ON GRADE ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE & 2018 INTERNATIONAL BUILDING CODE
- FOUNDATIONS HAS BEEN DESIGNED BASED ON GEOTECH REPORT PROVIDED BY GEOENGINEERS, DATED MAY 2, 2023.
- DESIGN LOADS:
 - SOIL: 4,000 PSF ALLOWABLE BEARING PRESSURE
- CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
 - F_c = 2500 psi: FOUNDATION WALLS*
 - 2500 psi: FOOTINGS*
 - 2500 psi: INTERIOR SLABS ON GRADE
 - 3500 psi: EXT. SLABS ON GRADE
 - f_y = 60,000 psi
- * UTILIZE 3/4" SACK 2500 PSI CONCRETE MIXES THAT ARE EQUIVALENT TO 3000 PSI CONCRETE FOR WEATHERING POTENTIAL
- ALL CONCRETE EXPOSED TO THE HEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN. BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER AT THE BOTTOM BARS AND 1 1/2" COVER AT THE SIDES.
- FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (15'-0" O.C.)
- FASTEN SILL PLATES TO FOUNDATION WALLS WITH 3/8" DIA. ANCHOR BOLTS W/ MIN. 3"x3"x 1/2" PLATE WASHERS (EDGE OF WASHER TO BE LOCATED WITHIN 1/2" OF EXTERIOR EDGE OF SILL PLATE) & NUTS @ 6'-0" O.C. @ 2-STORY & 4'-0" O.C. @ 3-STORY (CONDITIONS W/ 7" MIN. EMBEDMENT INTO CONC. PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, U.N.O. (SEE FND. DETAILS).
- ALL LUMBER EXPOSED TO HEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED HEM FIR #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORDINATE.
- ARCH/BUILDER TO VERIFY ALL DIMENSIONS

GRADE BEAM ON HELICAL PILING:

- TYPICAL GRADE BEAM SPECIFICATION: 16" DEEP x 16" WIDE @ PERIM. WALLS REINFORCED CONCRETE GRADE BEAM W/ (2) #4 BARS (EQUALLY SPACED) CONTINUOUS AT TOP & BOTTOM & #3 STIRRUPS @ 48" O.C. W/ 3" COVER.
- PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 11 TONS/PILE MINIMUM (SAFE LOAD) PER GEOTECH.
- PIILING CONTRACTOR SHALL DETERMINE BY TEST PILE THE LENGTH AND DIMENSIONS OF THE PILING REQUIRED TO REACH DESIGN LOAD CAPACITY.
- HELICAL PILE FOUNDATIONS (IBC 1704.10) SPECIAL INSPECTIONS OF ALL HELICAL PILE INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 1704.10 OF THE IBC. SPECIAL INSPECTIONS SHALL BE PERFORMED CONTINUOUSLY DURING INSTALLATION AND THE INFORMATION RECORDED SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - MATERIAL COMPLIANCE.
 - VERIFY PILE DIMENSIONS. (CONTINUOUS)
 - TEST PILE OBSERVATIONS.
 - VERIFY CAPACITIES OF PILES. (CONTINUOUS)
 - PILE DRIVING OBSERVATIONS.
 - OBSERVE PILE DRIVING OPERATIONS AND MAINTAIN INSTALLATION RECORDS FOR ALL PILES. (CONTINUOUS)
 - A. VERIFY PILE PLACEMENT AND PLUMBNESS.
 - B. RECORD FINAL DEPTH
 - C. RECORD FINAL INSTALLATION TORQUE
 - D. RECORD PILE TIP ELEVATIONS.
 - E. DOCUMENT ANY DAMAGE TO PILE.
- INDICATES LOCATION OF HELICAL PILE

LOADING AND DESIGN PARAMETERS

GRAVITY DESIGN LOADS:

DEAD LOAD (P_D):

- ROOF RAFTERS (VAULTED): 15
- ROOF RAFTERS: 20
- FLOOR (I-JOISTS): 10

LIVE LOAD (P_L):

- RESIDENTIAL LIVING AREAS: 40
- RESIDENTIAL SLEEPING AREAS: 30
- BALCONY LIVE: 60

SNOW LOAD:

- GROUND SNOW LOAD (P_S) (PSF): 25
- FLAT ROOF SNOW LOAD (P_S) (PSF): 25
- SNOW EXPOSURE FACTOR (C_e): 0.9
- SNOW LOAD IMPORTANCE FACTOR (I): 1.0
- THERMAL FACTOR (C_t): 1.2

LATERAL DESIGN LOADS:

WIND LOAD: (IBC 1609)

- SPEED (V) (MPH): 100
- WIND RISK CATEGORY: II
- IMPORTANCE FACTOR (I_w): 1.0
- EXPOSURE CATEGORY: B
- INTERNAL PRESSURE COEFF. (GC): 0.18
- TOPOGRAPHIC FACTOR (K_z): 1.3

SEISMIC LOAD: (IBC 1601B)

- SEISMIC RISK CATEGORY: II
- SEISMIC IMPORTANCE FACTOR (I_s): 1.0
- MAPPED SPECTRAL RESPONSE:
 - S_m 1.342 S_m 0.485
 - S_m 0.428 S_m 0.587
- SITE CLASS: D
- SPECTRAL RESPONSE COEFF.:
 - S_m 0.428 S_m 0.587
- SEISMIC DESIGN CATEGORY: D
- BASIC SEISMIC-FORCE-RESISTING SYS:
 - LIGHT FRAMED WALLS
 - WOOD STRUCTURAL PANELS
 - DESIGN BASE SHEAR (U.L.T.):
 - TRANS: 11k LONG: 11k
- SEISMIC RESPONSE COEFF. (C_d) (ADDITION):
 - TRANS: 0.142 LONG: 0.143
- RESPONSE MODIFICATION FACTOR (R):
 - TRANS: 6.5 LONG: 6.5
- ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION |
|--------|--|
| ▶ HD-1 | SIMPSON 5THD14 (RJ) HOLD-DOWN |
| ▶ HD-5 | SIMPSON CS16 STRAP TIE (14" END LENGTH) |
| ▶ HD-6 | SIMPSON M5TC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| ▶ HD-7 | SIMPSON M5TC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUY'S, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MKK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:

- ROOF TRUSSES
 - 1/4" DEAD LOAD
- FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS
 - 1/8" DEAD LOAD
- FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS
 - LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

LATERAL BRACING NOTES

THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. B (ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.

110 MPH WIND IN 2018 IRC MAP
ENGINEERED WIND WAS COMPLETED PER 2018 IBC (SECTION 1609 & 1613) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2018 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.

STANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS
(INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)

- 3/8" OSB OR 1/2" PLYWOOD:
FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 6" O.C. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION U.N.O. ON PLANS.

3" O.C. EDGE NAILING
(WHERE NOTED ON PLANS)

- 3/8" OSB OR 1/2" PLYWOOD:
ONLY AT LOCATIONS INDICATED ON PLANS - SHEATH THE WALL WITH 3/8" OSB. FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

- NOTES:**
- LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" O.C.
 - ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/ 3"x0.131" NAILS @ 8" O.C. USE (2) 3/8"x0.131" NAILS AT EACH LAP SPLICE. (6) EACH SIDE OF JOINT (TYP. U.N.O.)
 - ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.
 - ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.) OR SHEARWALL ABOVE (S.W.A.)
- BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING
- AREA OF OVERFRAMING
- JL METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN.

GENERAL STRUCTURAL NOTES

DESIGN PARAMETERS

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE & 2018 INTERNATIONAL BUILDING CODE
- WOOD FRAME ENGINEERING IS BASED ON NDS, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - LATEST EDITION.

GENERAL FRAMING

- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x STUD GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERFLOOR OF FRAMING AT NEXT LEVEL. BF. WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) #2 GRADE LUMBER, OR BETTER.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
 - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.
- BUILT-UP POSTS SHALL BE 2x4 OR 2x6 HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O. & SOLID WOOD COLUMNS SHALL BE SPRUCE PINE FIR (SPF) #2 GRADE LUMBER, OR BETTER, U.N.O.
- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUG FIR #2 (DF #2) OR BETTER.
- ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).
- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX. SHARDED CAPACITY. NUTS, WASHERS, USE CORONA NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO SUPPORTING BEAMS, W/ (4) 3"x0.131" TOENAILS (MIN), TYP. U.N.O.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE.
- ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING:
 - LVL MEMBERS - Fb=2825 PSI; Fv=310 PSI; E=1.55x10⁶ PSI
 - LVL MEMBERS - Fb=2600 PSI; Fv=285 PSI; E=2.0x10⁶ PSI
 - GLB MEMBERS - Fb=2400 PSI; Fv=1850 PSI; Fv=265 PSI; E=1.8x10⁶ PSI; DF, DF, 2x6-4 (U.N.O.)
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
 - LVL MEMBERS - Fb=2400 PSI; Fc=1250 PSI; E=1.8x10⁶ PSI
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-ROWS OF 3"x0.131" NAILS (MIN) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- ALL MEMBERS SPECIFIED AS MULTI-PLY 1/2" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID MATERIAL MAY BE USED AS EQUAL.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS W/ 4x4 (MIN) 1/2" x 1/2" PINS OR EQUAL (0.131" DIA. x 2" LONG MIN) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/400 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, U.N.O. (EXCLUDES STONE/HARDBLE OR NET BED CONSTRUCTED FLOORS - CONTACT MKK FOR EXCLUDED DESIGNS).
- ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- I-JOIST/TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL 2x JOIST HANGERS (U.N.O. ON PLANS): SINGLE PLY: SIMPSON LUS20 DOUBLES: SIMPSON LUS20-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STUD-FLOOR" 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
- ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE, U.N.O.
- FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS W/ 1/2" LONG NAILS.

ROOF FRAMING

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (3) 3"x0.131" TOENAILS (MIN) & (1) SIMPSON H251 CLIP @ ALL BEARING POINTS. PROVIDE (2) SIMPSON H251 CLIPS AT 2-PLY GIRDER TRUSSES & 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) SIMPSON H251 CLIP. PROVIDE (2) SIMPSON H251 CLIPS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS W/ 2 1/2" x 0.131" NAILS @ 6" O.C. AT PANEL EDGES & @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIP'S FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 16.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TP'S BC/SI 1-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW W/ (2) 3"x0.131" TOENAILS AT EA. TRUSS.
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (UP TO 6' TRIB) W/2x6 LEDGER FASTENED TO FRAMING W/ (3) 3"x0.131" NAILS @ 16" O.C.
- FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" O.C. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.



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project mgr: **NJM**

drawn by: **LGH**

issue date: **03-01-23**

REVISIONS:

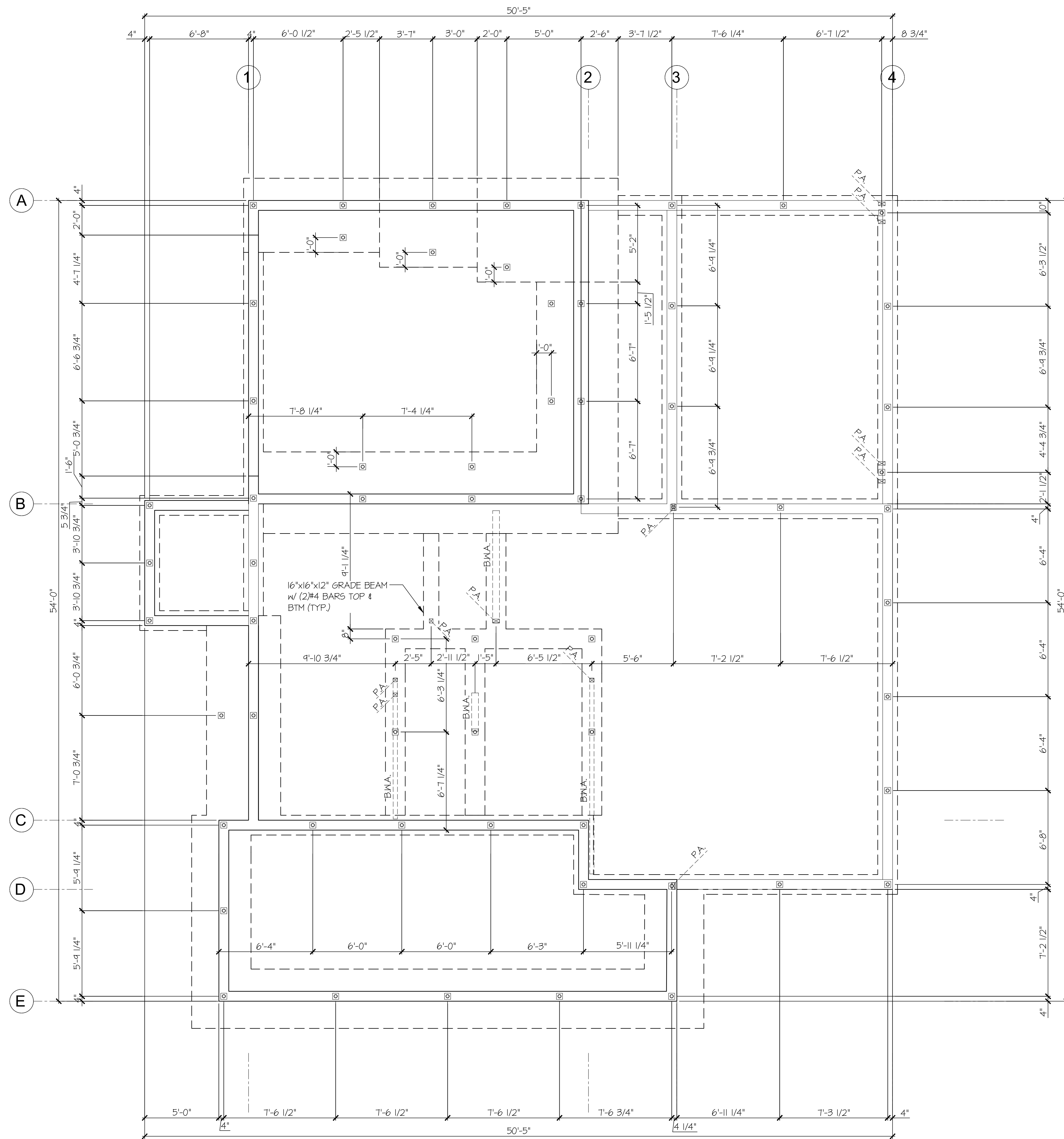
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| 05/16/2023 | LGH |
| FOUNDATION REVISIONS | |

LNL BUILDS

STRUCTURAL NOTES

2436 74TH AVE SE
MERCER ISLAND, WASHINGTON

sheet: **S-0.0**

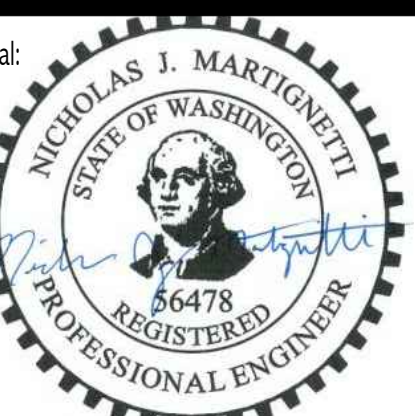


1 HELICAL PILE PLAN
SCALE: 1/4"=1'-0"

REFER TO S-O.O FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

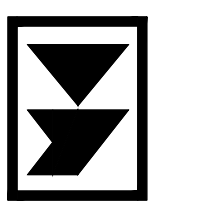
GRADE BEAM ON HELICAL PILING:

- TYPICAL GRADE BEAM SPECIFICATION: 16" DEEP x 16" WIDE (Ø PERIM. WALLS) REINFORCED CONCRETE GRADE BEAM w/ (2) #4 BARS (EQUALLY SPACED) CONTINUOUS AT TOP & BOTTOM & #3 STIRRUPS Ø 48" o.c. w/ 3" COVER.
 - PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 11 TONS/PILE MINIMUM (SAFE LOAD) PER GEOTECH.
 - PILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILING REQUIRED TO REACH DESIGN LOAD CAPACITY.
 - HELICAL PILE FOUNDATIONS (IBC 1704.10) SPECIAL INSPECTIONS OF ALL HELICAL PILE INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 1704.10 OF THE IBC. SPECIAL INSPECTIONS SHALL BE PERFORMED CONTINUOUSLY DURING INSTALLATION AND THE INFORMATION RECORDED SHALL INCLUDE, BUT NOT BE LIMITED TO:
 1. MATERIAL COMPLIANCE
 2. VERIFY PILE DIMENSIONS. (CONTINUOUS)
 3. TEST PILE OBSERVATIONS:
 - VERIFY CAPACITIES OF PILES. (CONTINUOUS)
 - FILE DRIVING OBSERVATIONS:
 - OBserve FILE DRIVING OPERATIONS AND MAINTAIN INSTALLATION RECORDS FOR ALL PILES. (CONTINUOUS)
 - A. VERIFY PILE PLACEMENT AND PLUMBNESS.
 - B. RECORD FINAL DEPTH
 - C. RECORD FINAL INSTALLATION TORQUE
 - D. RECORD PILE TIP ELEVATIONS.
 - E. DOCUMENT ANY DAMAGE TO PILE.
- ⊗ INDICATES LOCATION OF HELICAL PILE



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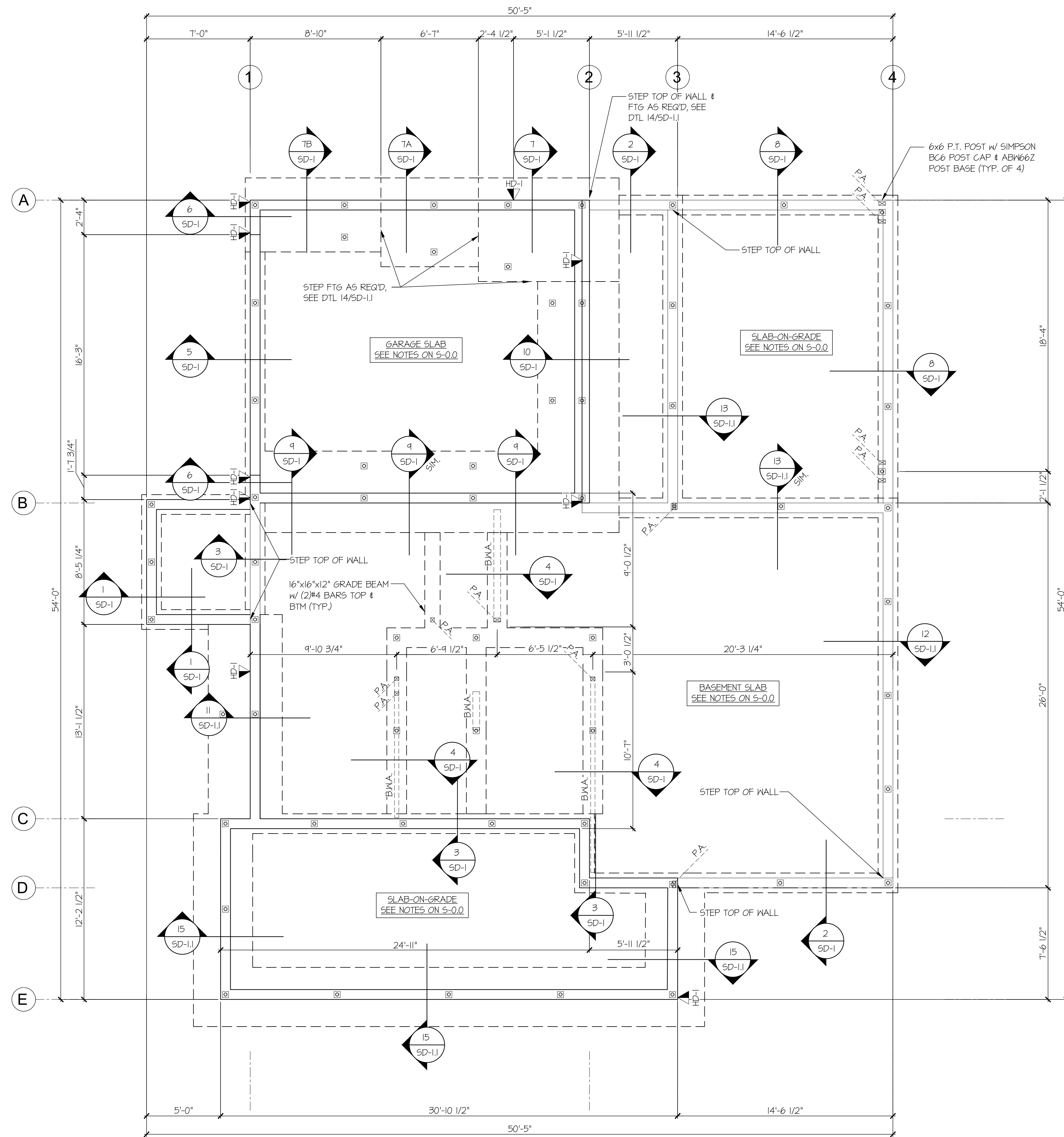
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project mgr: NJM
drawn by: LGH
issue date: 03-01-23

REVISIONS:
date: 05/16/2023 initial: LGH
FOUNDATION REVISIONS

LNL BUILDS

HELICAL PILE PLAN
2436 74TH AVE SE
MERCER ISLAND, WASHINGTON

sheet:
HP-1



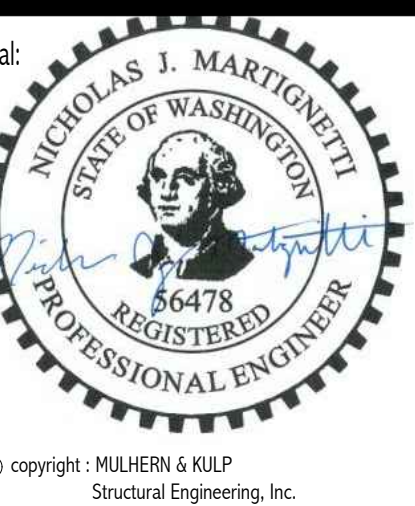
REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

LEGEND

- ◻ INTERIOR BEARING WALL
- ◻ BEARING WALL ABOVE (BWA), OR SHEARWALL ABOVE (SWA)
- BEAM / HEADER
- ◻ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ◻ AREA OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN.

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION |
|--------|--|
| ▶ HD-1 | SIMPSON 5THD14 (R-J) HOLD-DOWN |
| ▶ HD-5 | SIMPSON CS16 STRAP TIE (14" END LENGTH) |
| ▶ HD-6 | SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| ▶ HD-7 | SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |



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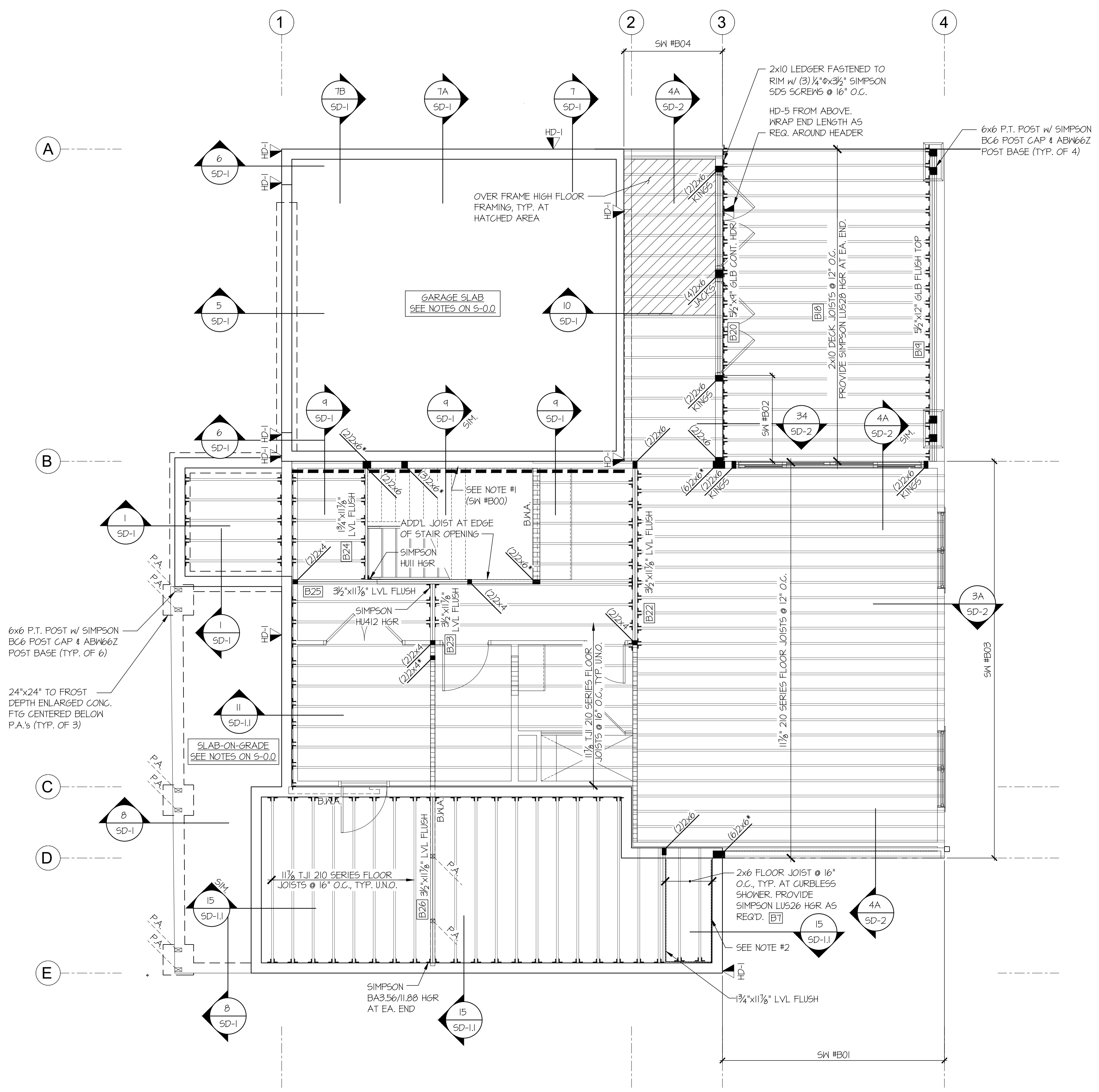
REVISIONS:
date: 05/16/2023 initial: LGH
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LNL BUILDS

FOUNDATION PLAN
2436 74TH AVE SE
MERCER ISLAND, WASHINGTON

sheet:
S-1.0

FOUNDATION PLAN
SCALE: 1/4"=1'-0"



REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

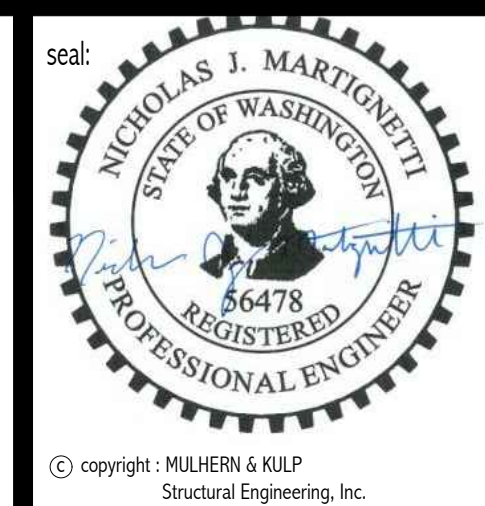
LEGEND

- ◻ INTERIOR BEARING WALL
- ▤ BEARING WALL ABOVE (B.W.A.) OR SHEARWALL ABOVE (S.W.A.)
- BEAM / HEADER
- ▨ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- AREA OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ◀ INDICATES HOLD-DOWN.

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION |
|--------|---|
| ▶ | SD-1 SIMPSON 5THD14 (R-J) HOLD-DOWN |
| ▶ | SD-5 SIMPSON CS16 STRAP TIE (14" END LENGTH) |
| ▶ | SD-6 SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| ▶ | SD-7 SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |

- 4x8 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B2]
- NOTE #1: PROVIDE 3/8" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)
- NOTE #2: 2x6 LEDGER FASTENED TO BEAM/STUDS w/ (2) 1/4"x3/8" SIMPSON SDS SCREWS @ 16" O.C., TYP. AT CURBLESS SHOWER



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project mgr: NJM
drawn by: LGH
issue date: 03-01-23

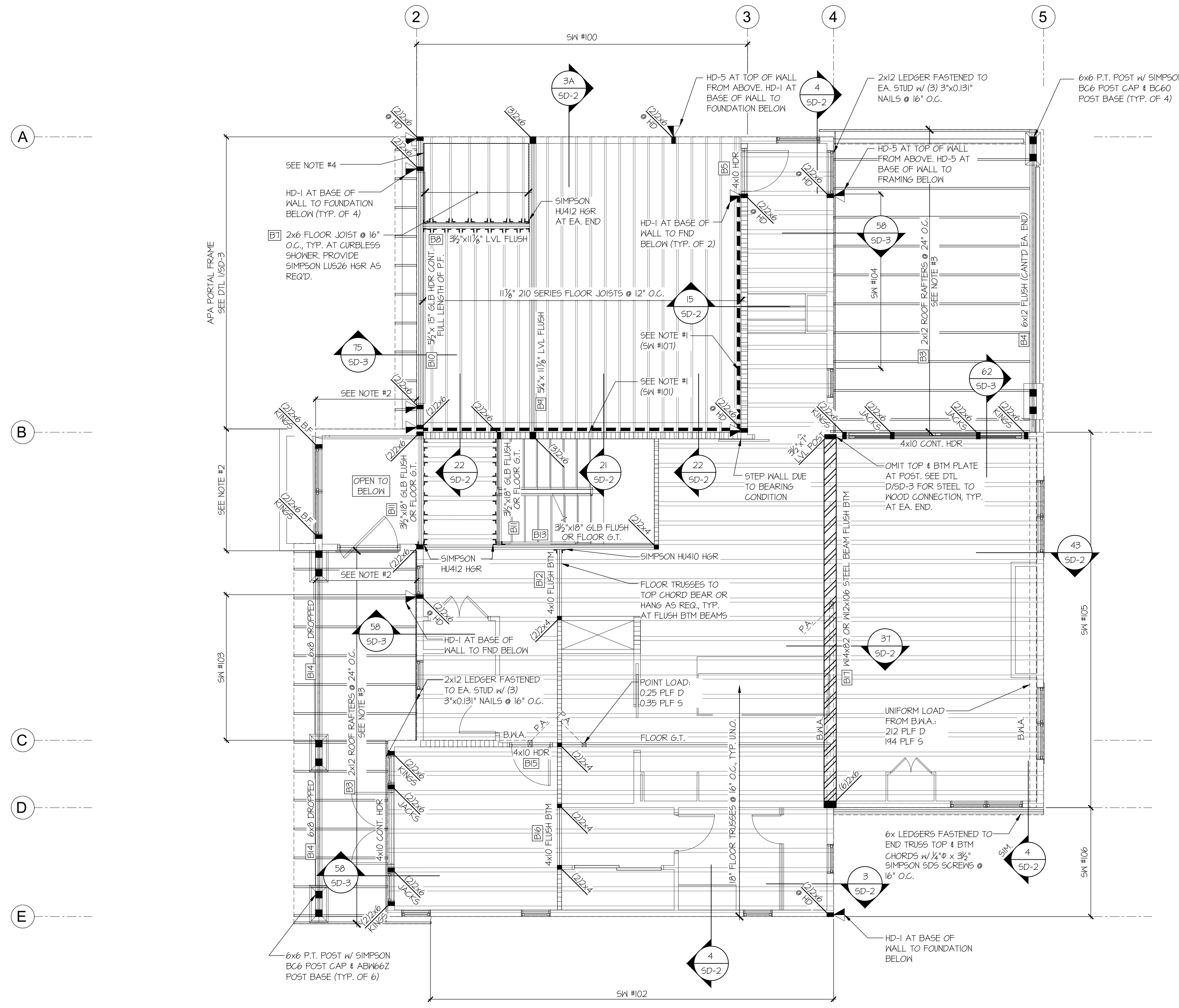
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LNL BUILDS

MAIN FLOOR FRAMING PLAN
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MERCER ISLAND, WASHINGTON

sheet:
S-1.1

1 MAIN FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

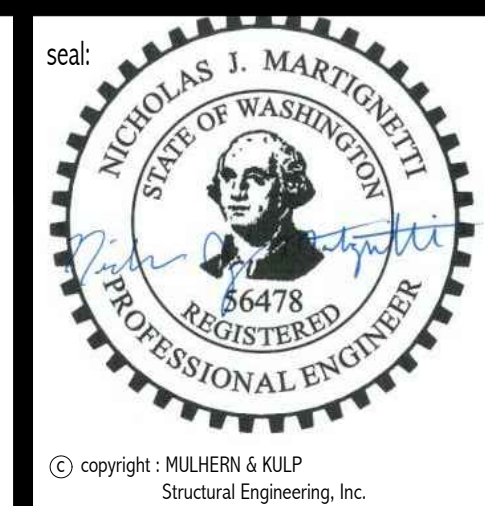
LEGEND

- ◻ INTERIOR BEARING WALL
- ◻ BEARING WALL ABOVE (B.W.A.) OR SHEARWALL ABOVE (S.W.A.)
- BEAM / HEADER
- ◻ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ◻ AREA OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN.

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION |
|--------|---|
| ▶ | HD-1 SIMPSON 5THD14 (R-J) HOLD-DOWN |
| ▶ | HD-5 SIMPSON CS16 STRAP TIE (14" END LENGTH) |
| ▶ | HD-6 SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| ▶ | HD-7 SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |

- ① STEEL BEAMS, PROVIDE SOLID 2x1/4" LVL WEB PACKOUT FASTENED TO WEB w/ 1/2" DIA. THRU BOLTS @ 24" o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED w/ P.A.F.'s (HILTI X-U PINS OR EQUAL) @ 16" o.c. STAGGERED, OR 1/2" DIA. BOLTS @ 48" o.c. STAGGERED.
- ② 4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B6]
- NOTE #1: PROVIDE 3/8" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)
- NOTE #2: 2x6 HF, #2 BF. STUDS @ 16" o.c.
- NOTE #3: PROVIDE SIMPSON A35 CLIP + (2) 3"x0.131" TOENAILS, TYP. AT EA. ROOF RAFTER TO LEDGER/BEAM
- NOTE #4: 2x6 LEDGER FASTENED TO BEAM/STUDS w/ (2) 1/4" x 3/8" SIMPSON SDS SCREWS @ 16" o.c., TYP. AT CURBLESS SHOWER



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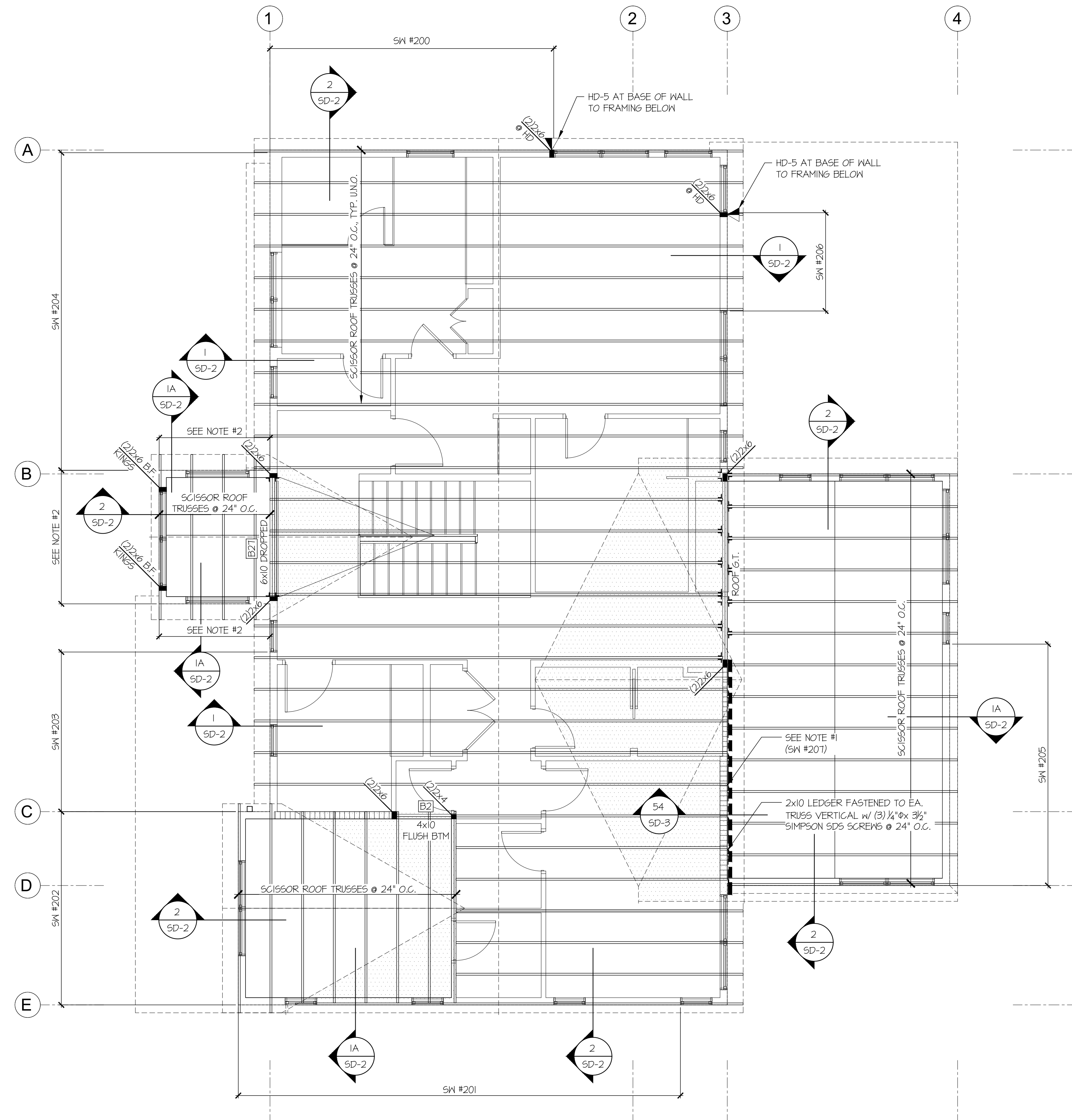
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LNL BUILDS

UPPER FLOOR FRMG PLAN
2436 74TH AVE SE
MERCER ISLAND, WASHINGTON

sheet:
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1 UPPER FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



REFER TO S-0.0 FOR
TYPICAL STRUCTURAL
NOTES & SCHEDULES

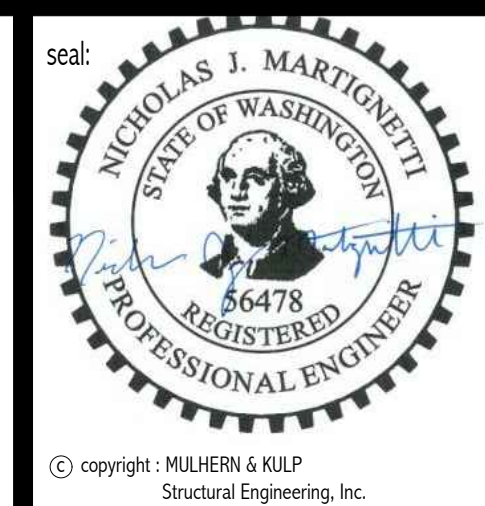
LEGEND

- ◻ INTERIOR BEARING WALL
- ◻ BEARING WALL ABOVE (B/W/A), OR SHEARWALL ABOVE (S/W/A)
- BEAM / HEADER
- ◻ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ◻ AREA OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ◻ INDICATES HOLD-DOWN.

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION |
|--------|---|
| ▶ | HD-1 SIMPSON 5THD14 (R/J) HOLD-DOWN |
| ▶ | HD-5 SIMPSON CS16 STRAP TIE (14" END LENGTH) |
| ▶ | HD-6 SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UNQ.) |
| ▶ | HD-7 SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UNQ.) |

- 4x8 HDR @ ALL EXT. OPENINGS (TYP. UNQ.) [B]
- PROVIDE SLOPING EXTERIOR WALLS TIGHT TO UNDERSIDE OF END TRUSSES (TYP. @ VAULTED SPACES)
- NOTE #1: PROVIDE 3/8" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)
- NOTE #2: 2x6 H.F. #2 B.F. STUDS @ 16" O.C.



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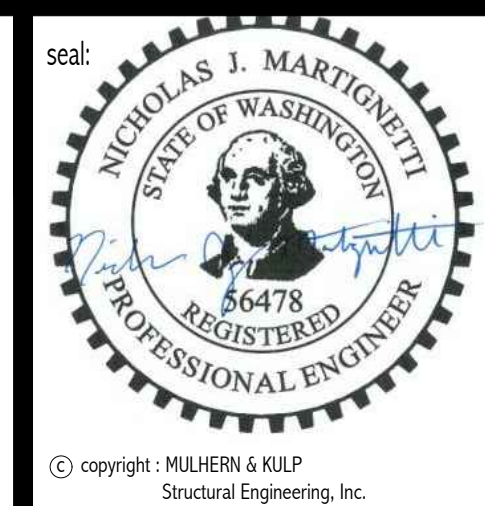
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ROOF FRAMING PLAN
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sheet:
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1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



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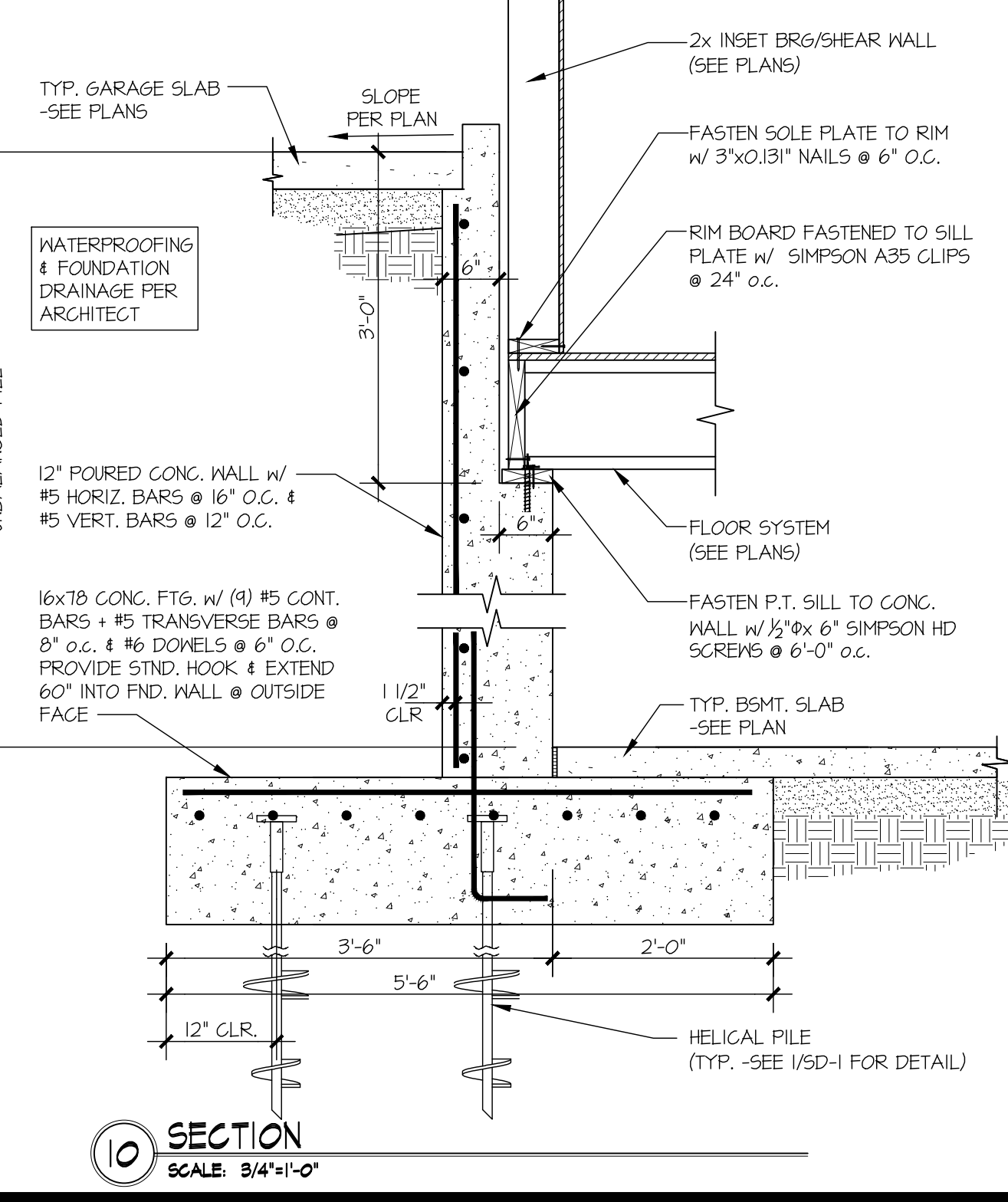
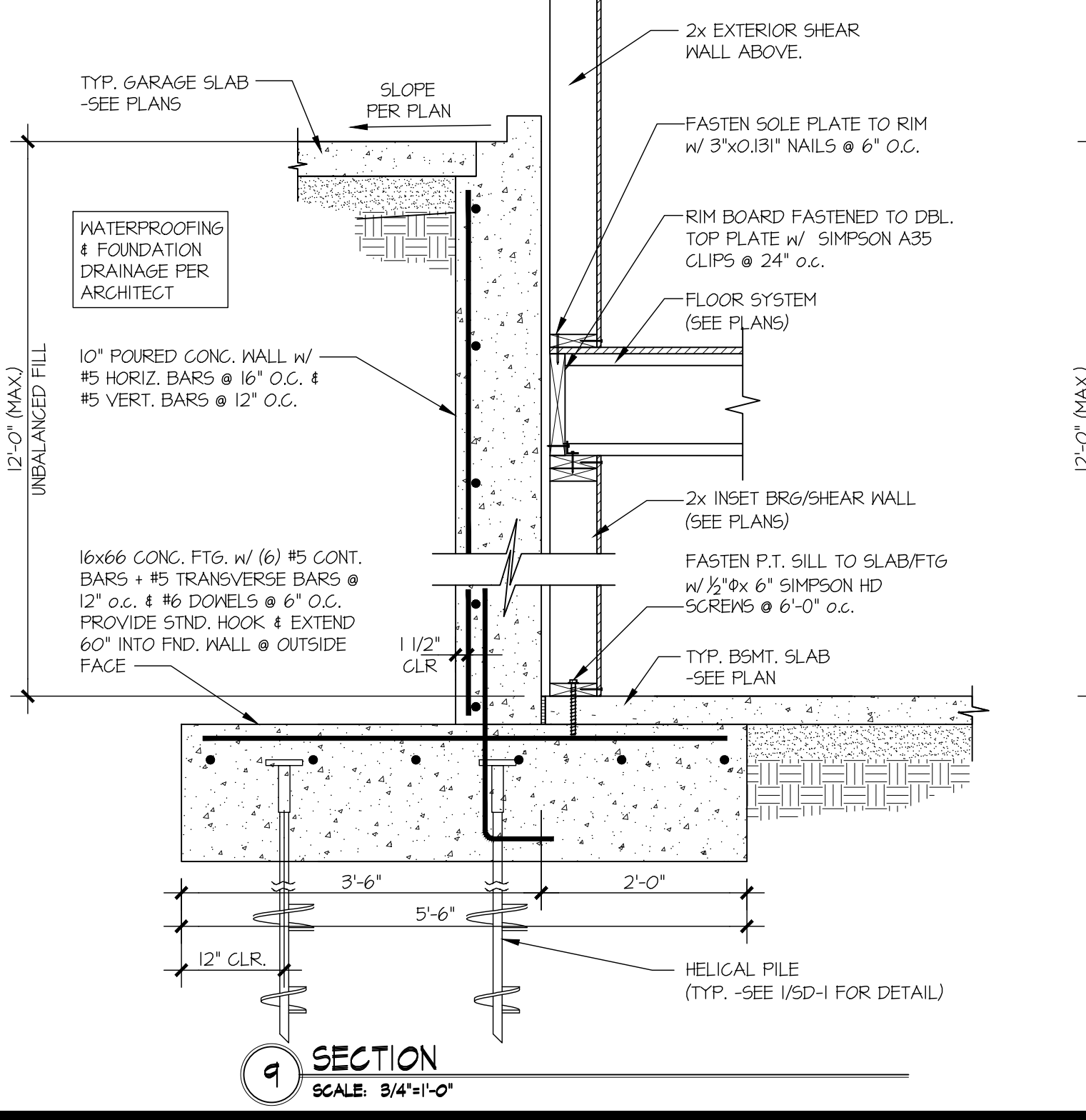
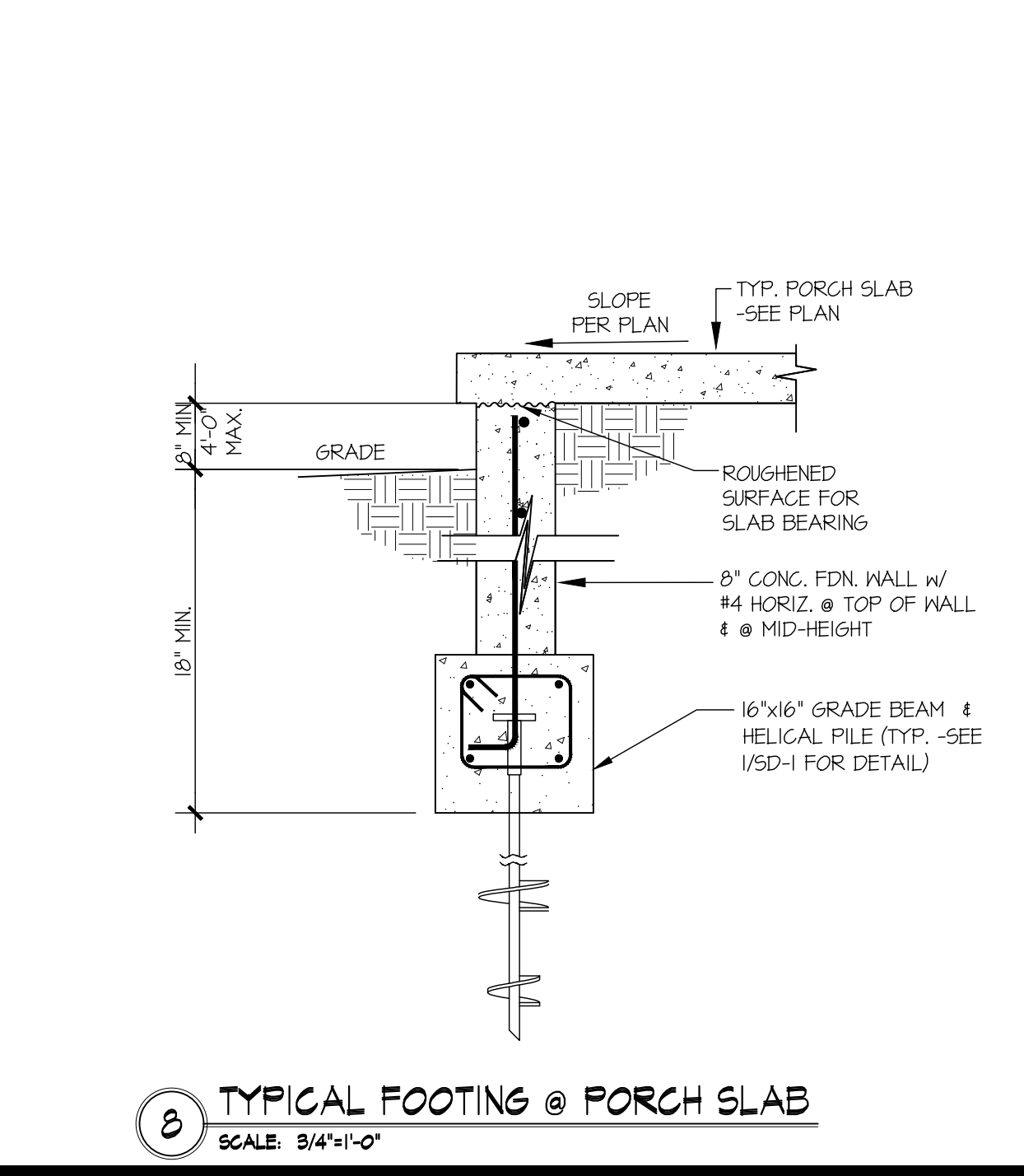
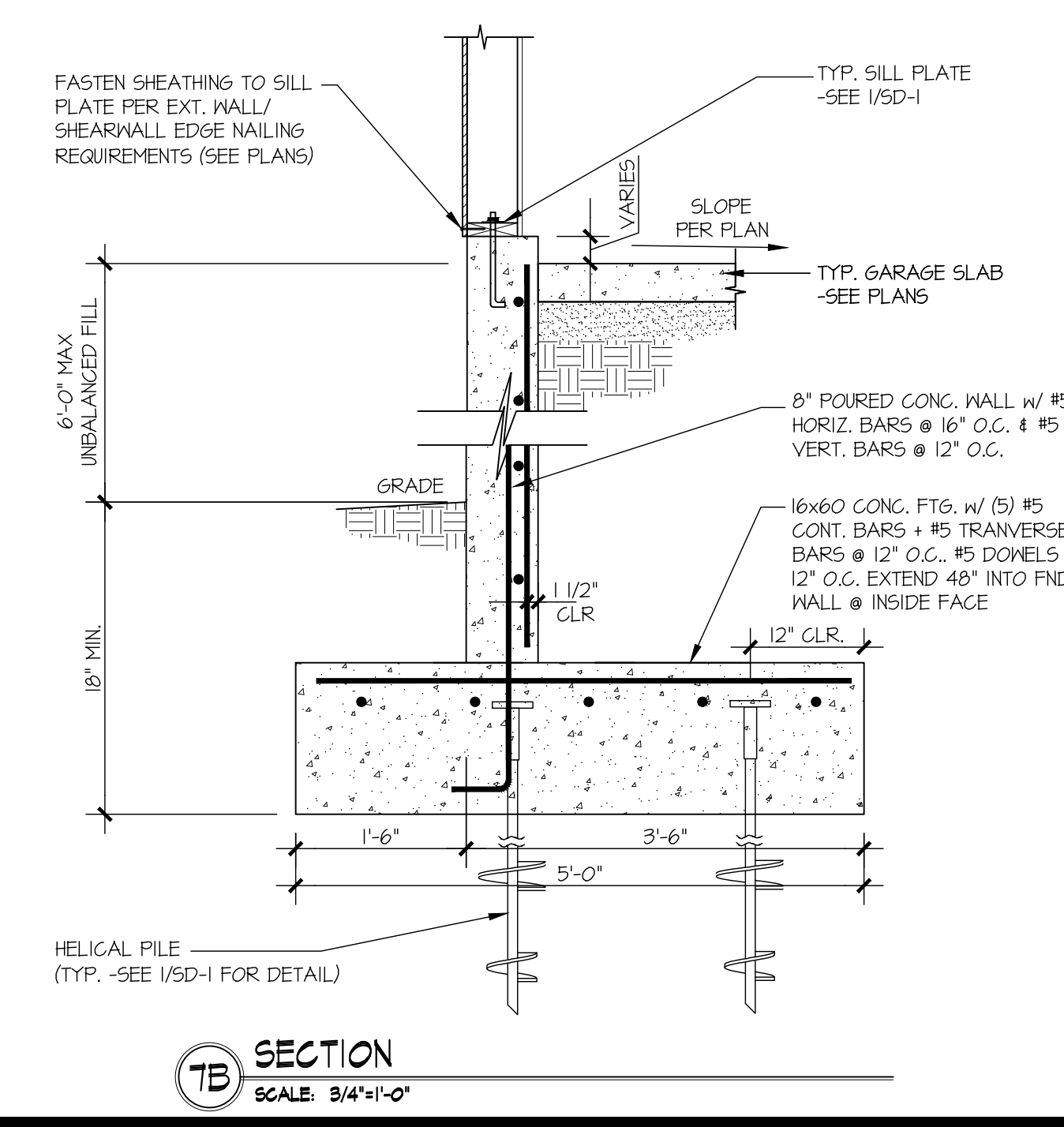
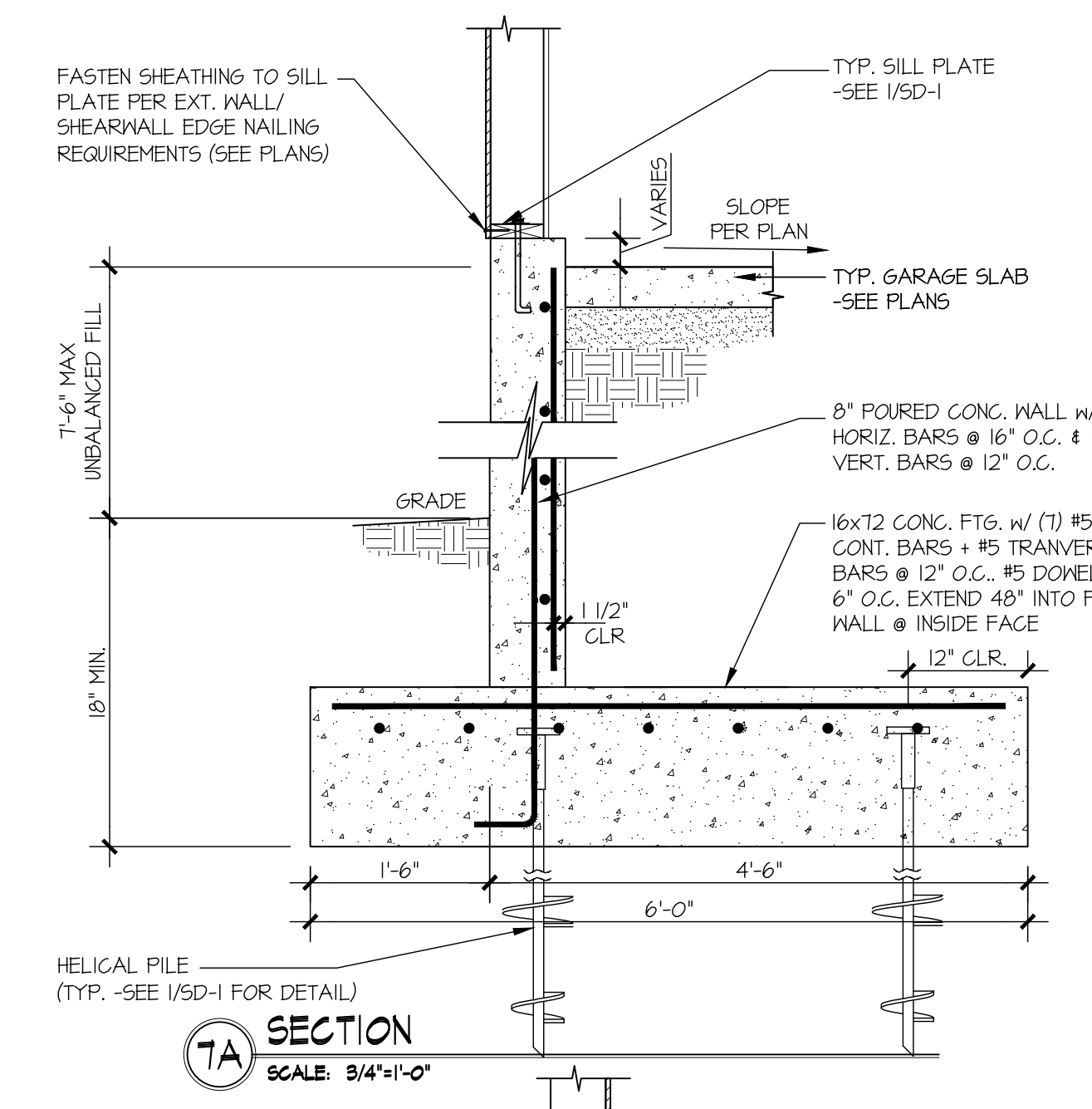
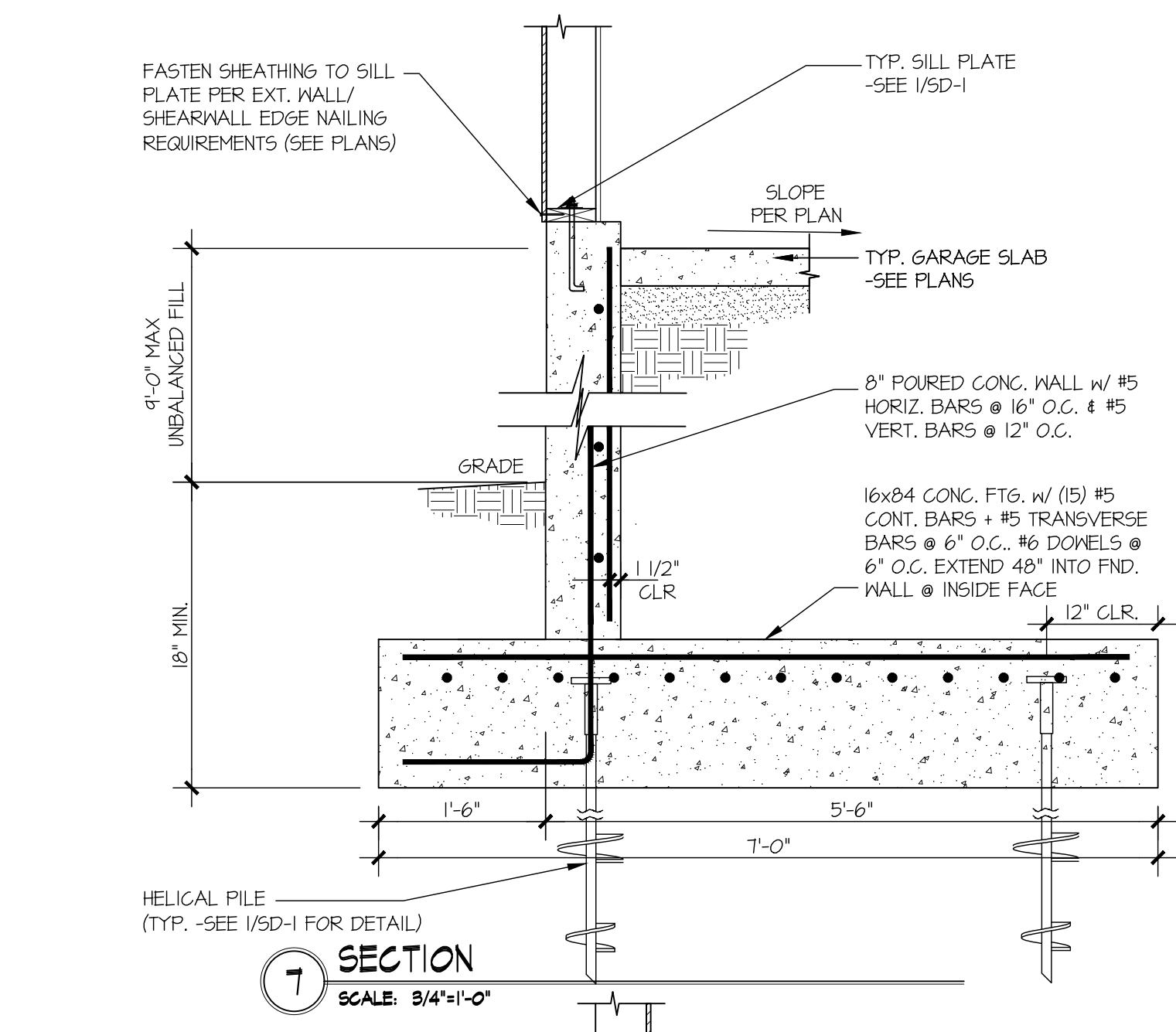
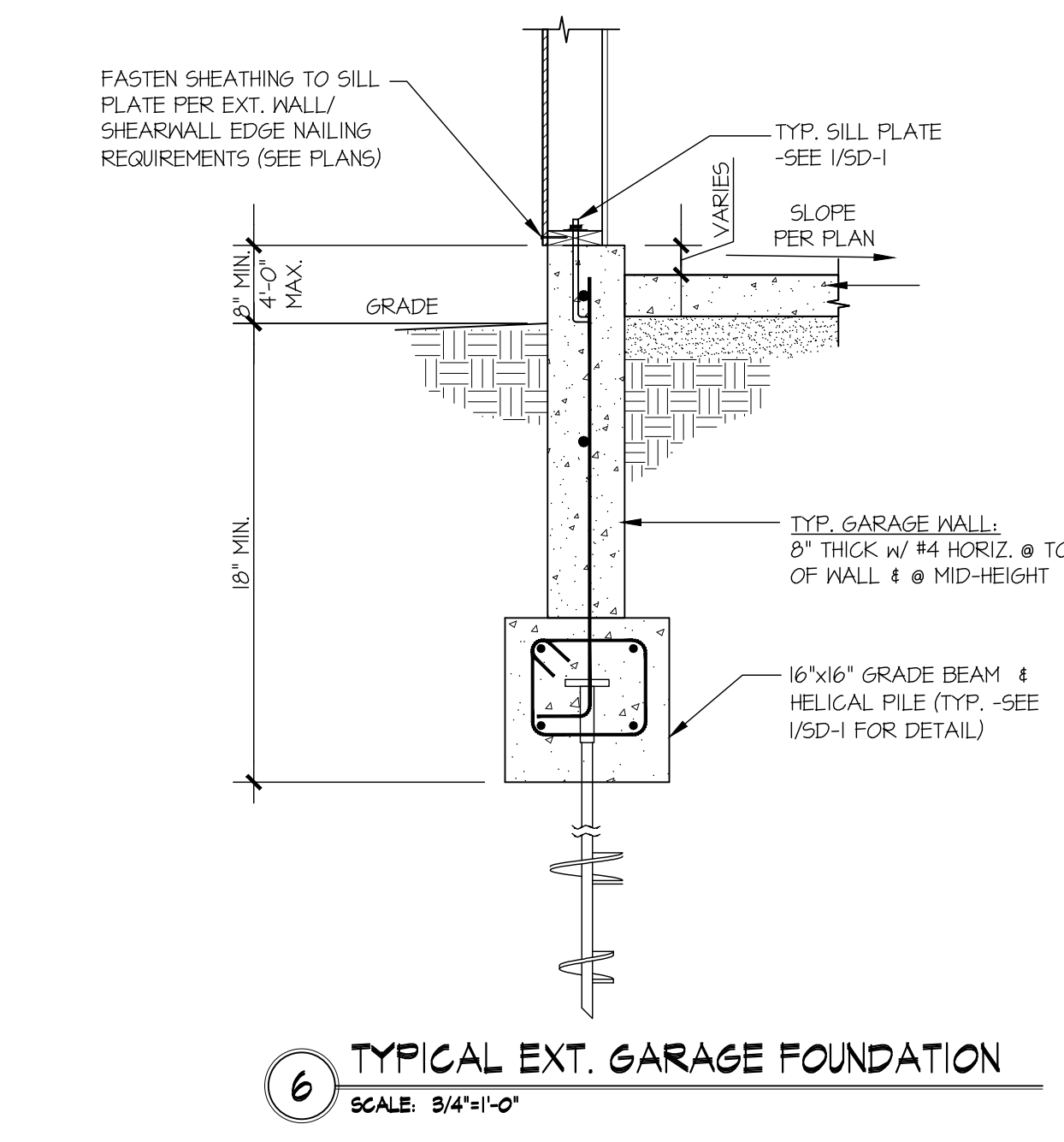
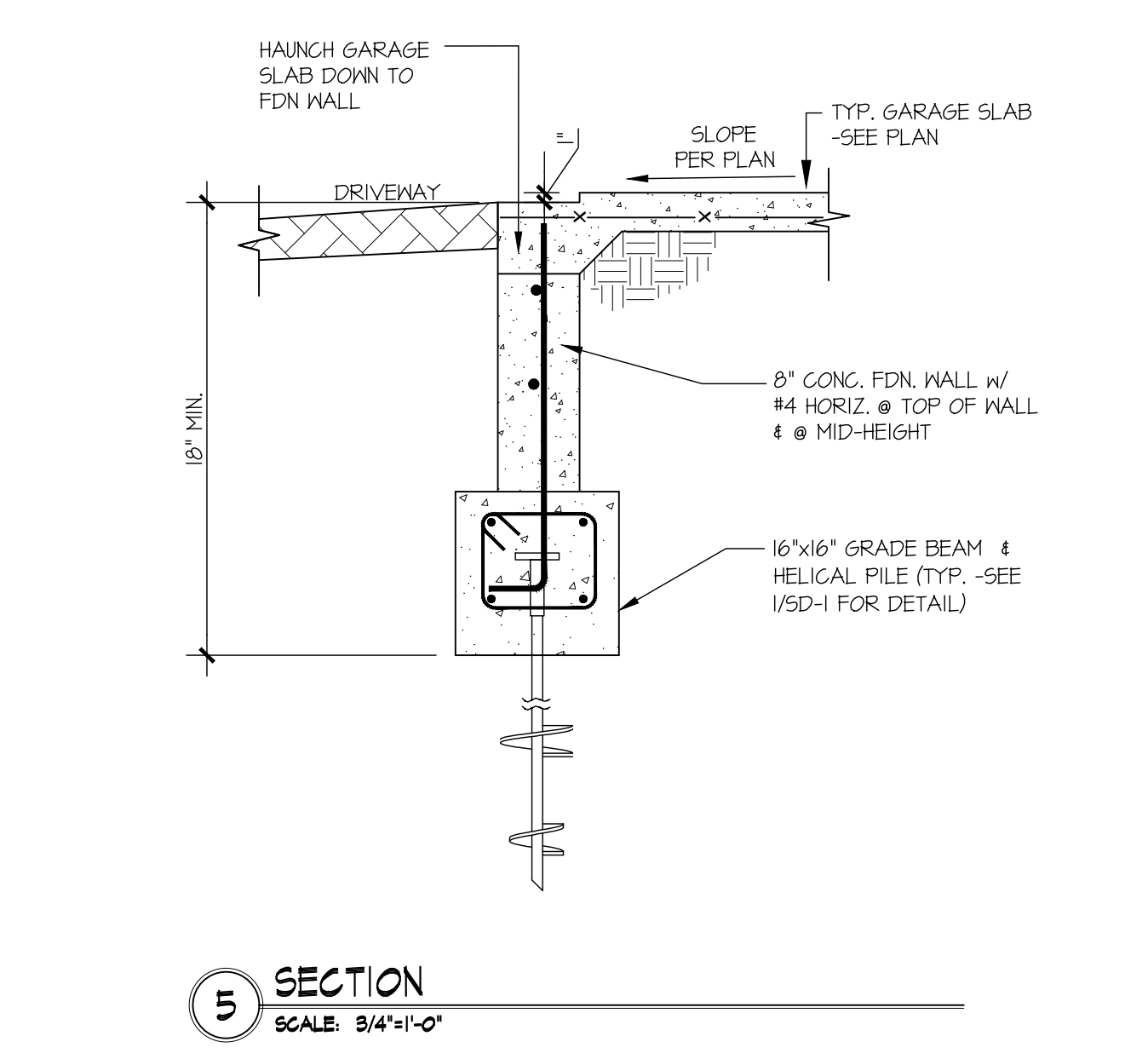
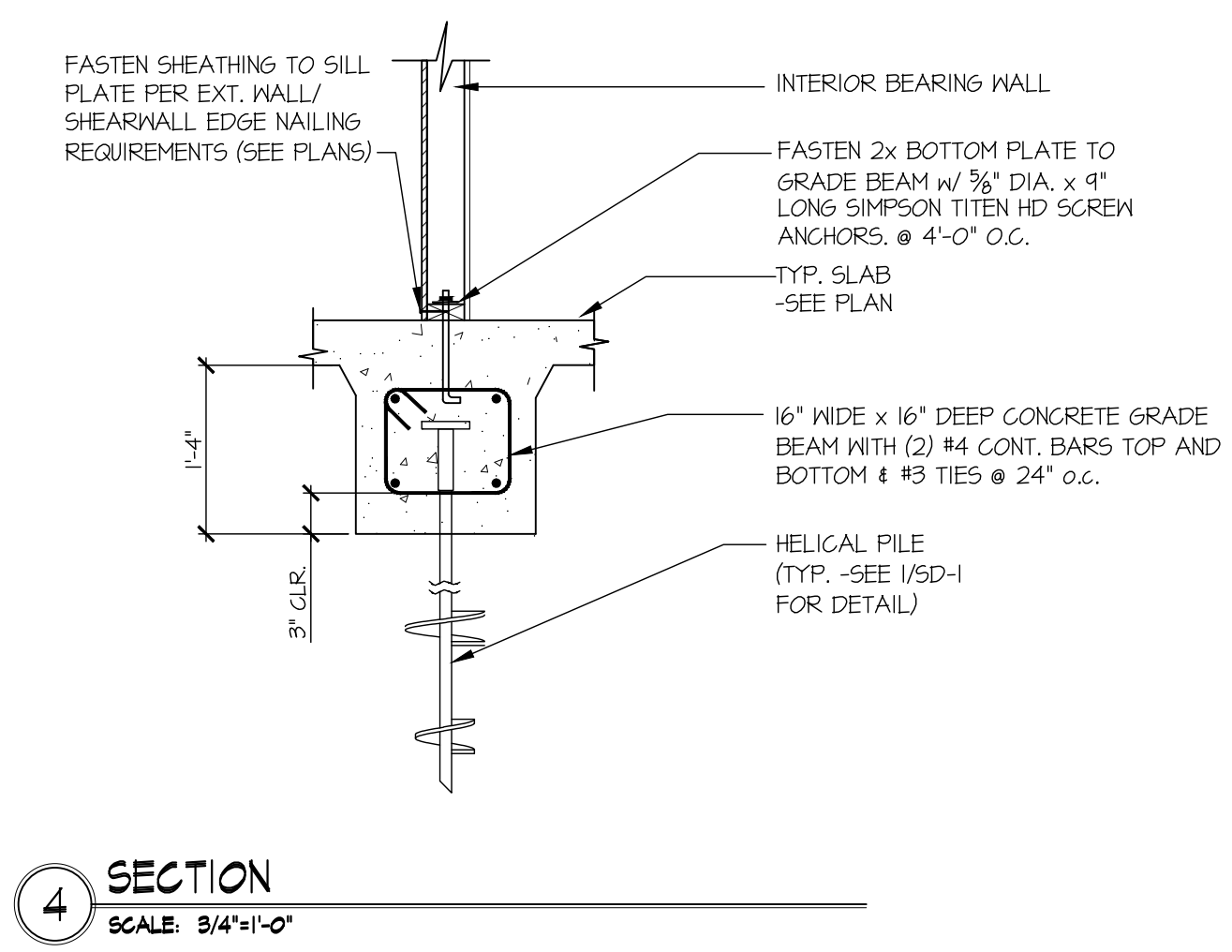
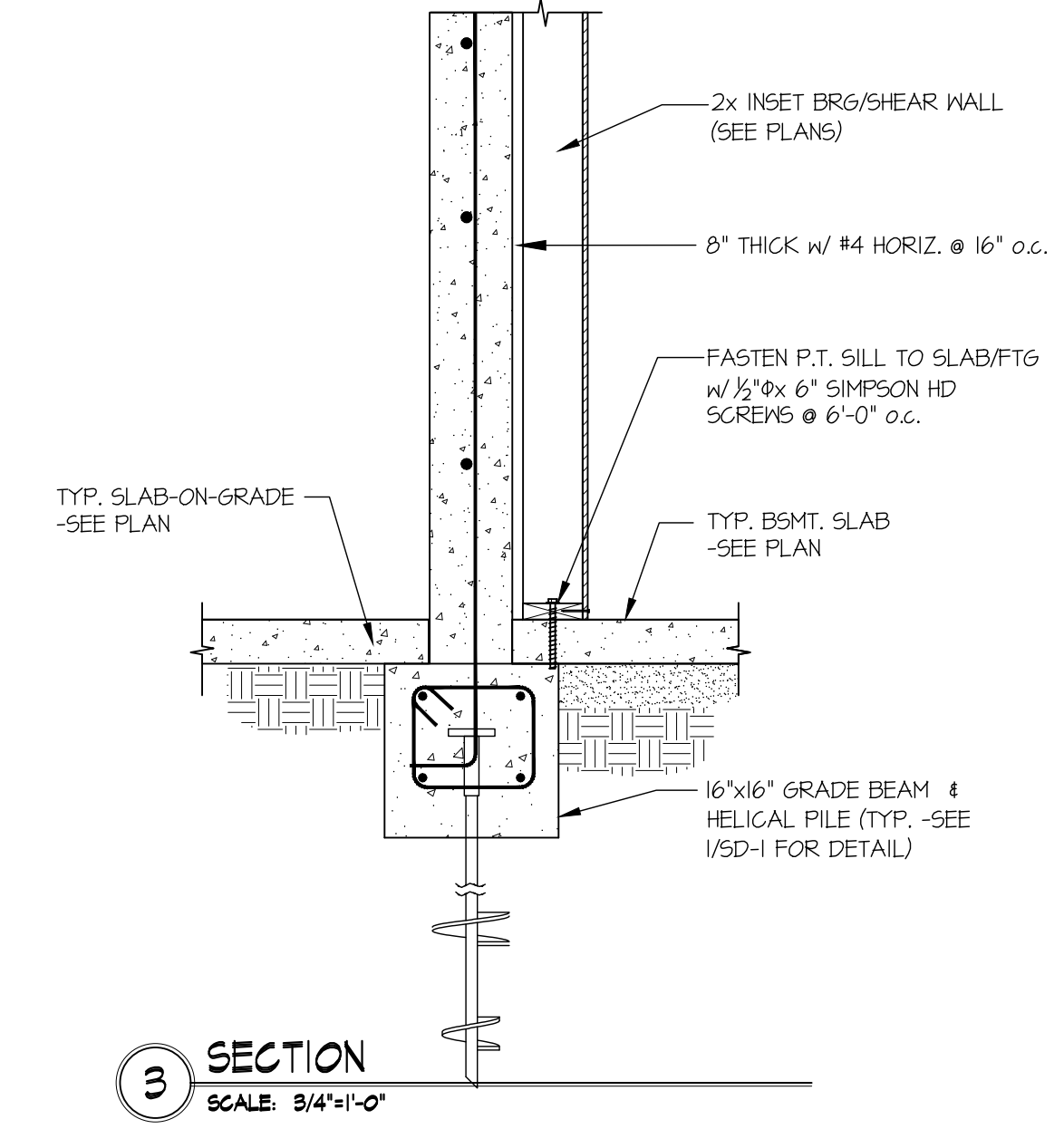
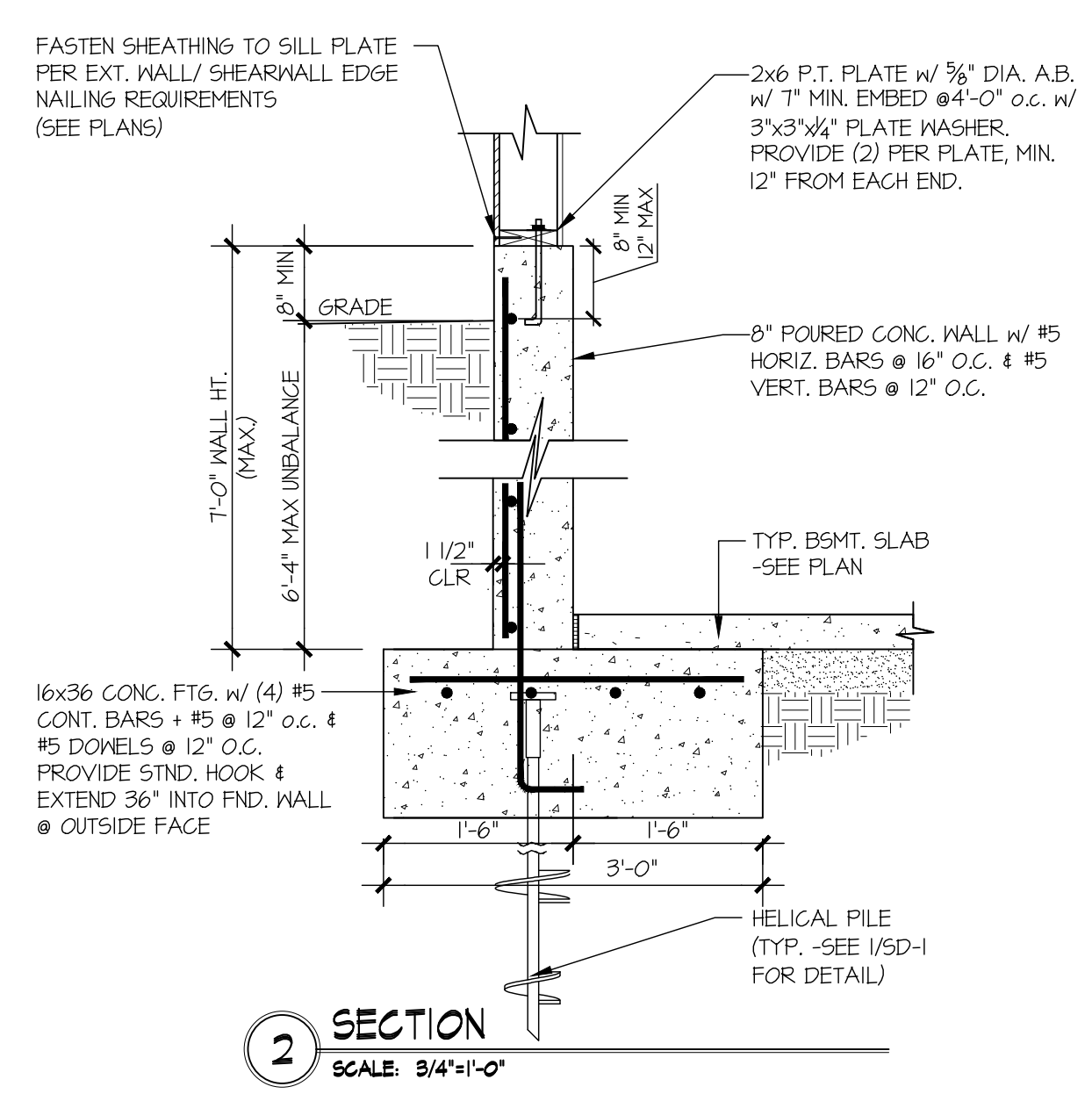
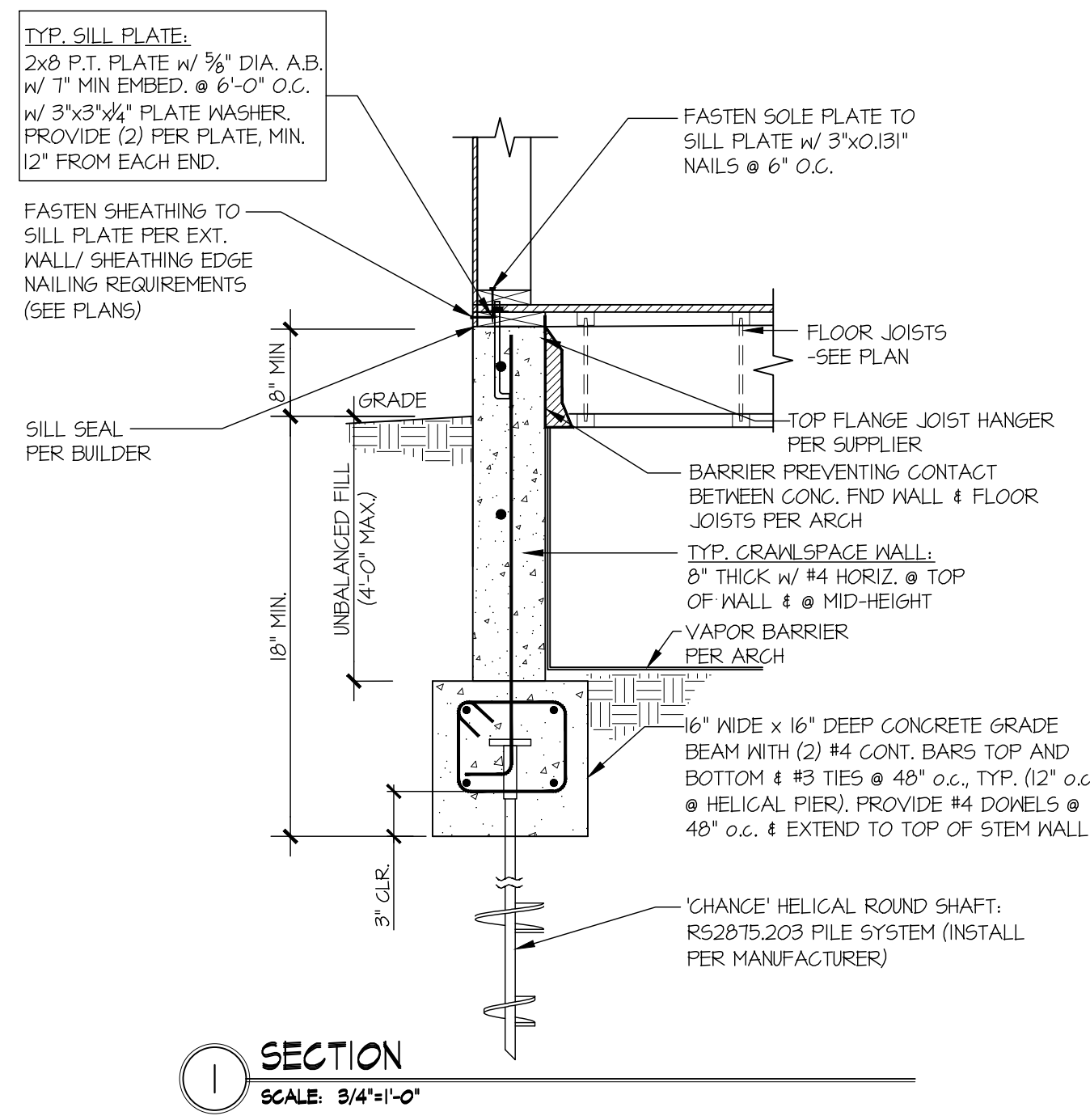
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01B-22081
project mgr: **NJM**
drawn by: **LGH**
issue date: **03-01-23**

REVISIONS:
date: **05/16/2023** initial: **LGH**
FOUNDATION REVISIONS

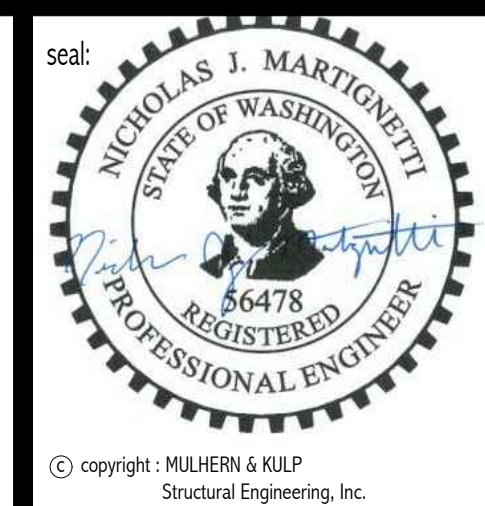
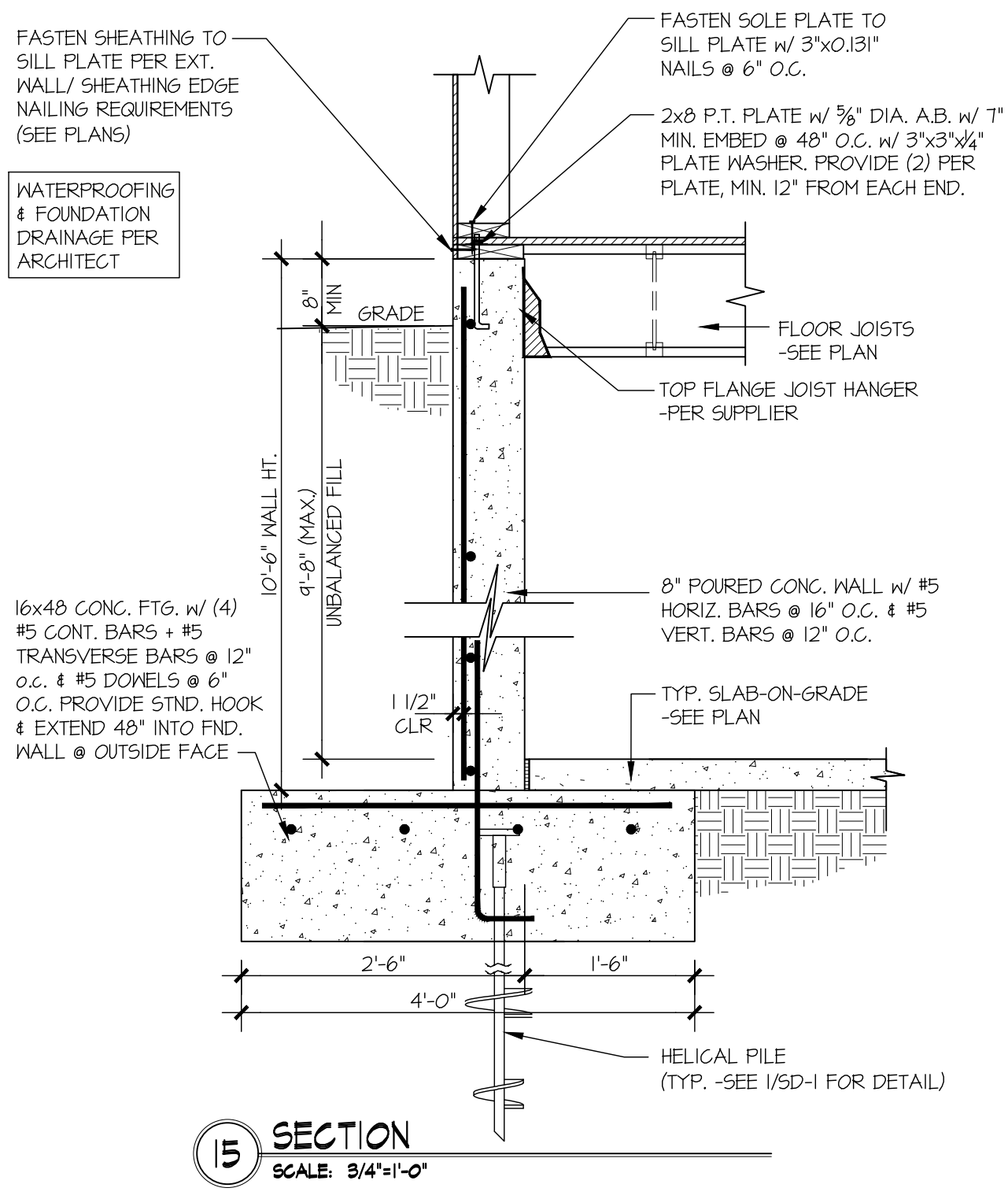
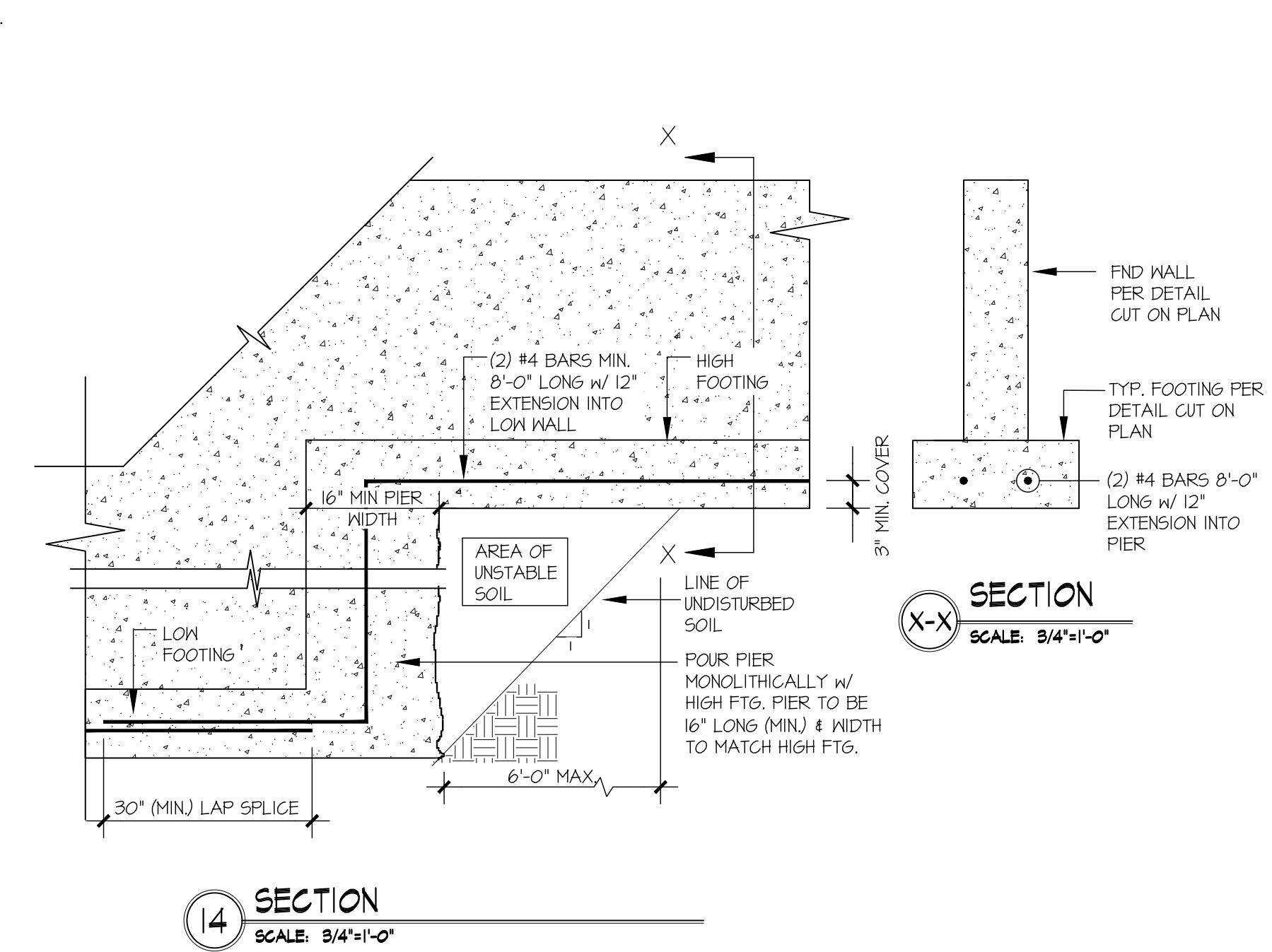
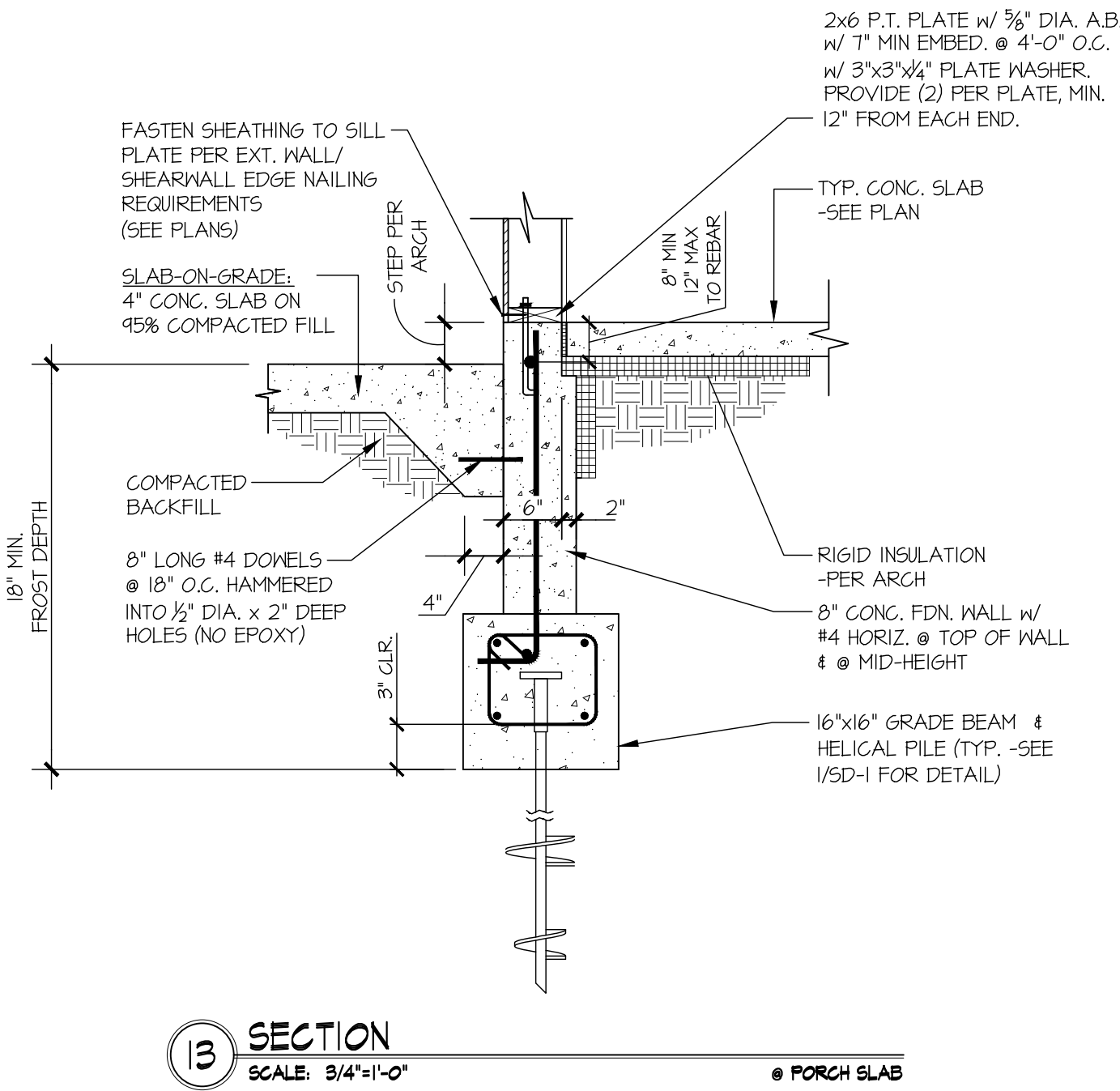
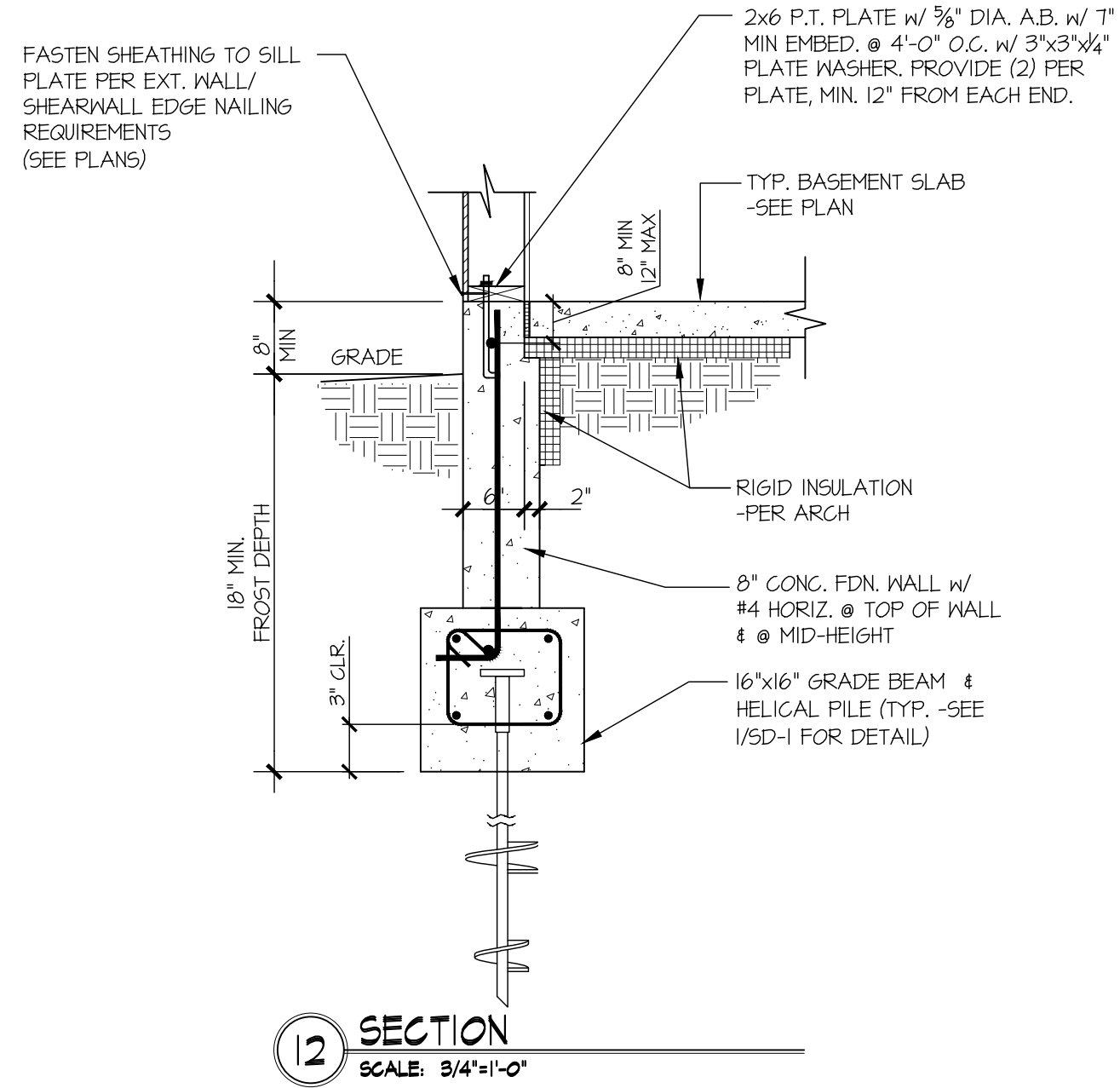
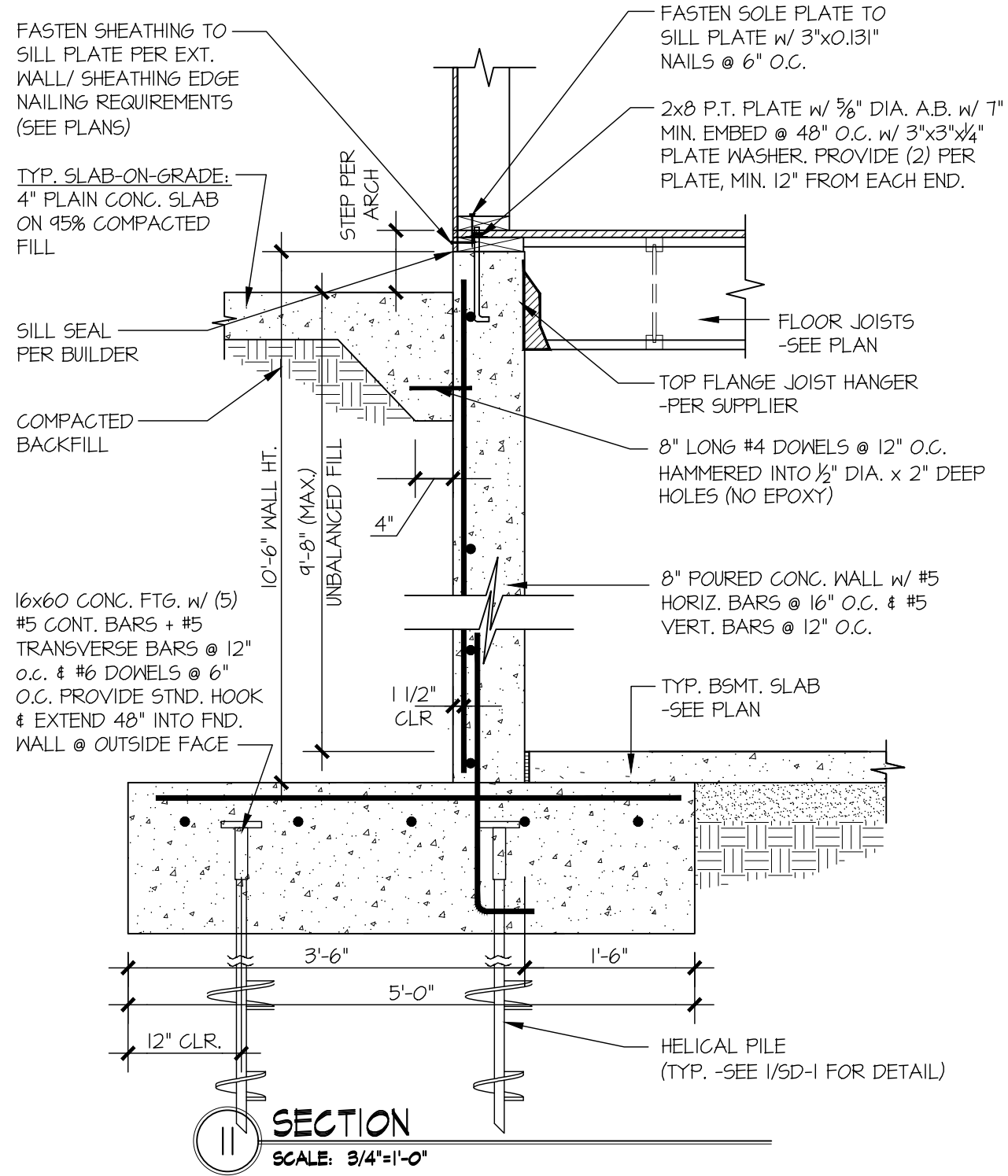
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FOUNDATION DETAILS
2436 74TH AVE SE
MERCER ISLAND, WASHINGTON

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SD-1



WATERPROOFING & FOUNDATION DRAINAGE PER ARCHITECT



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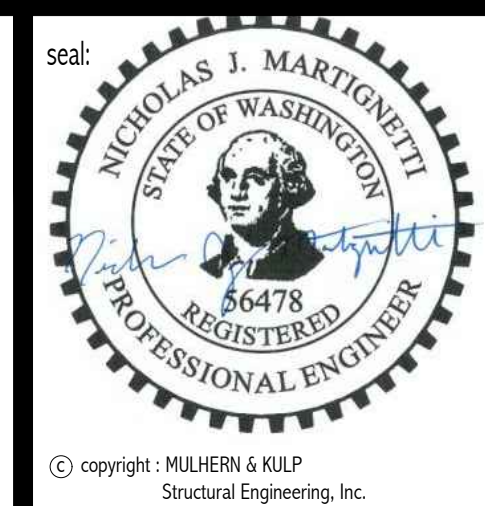
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LNL BUILDS

FOUNDATION DETAILS
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sheet: SD-1.1



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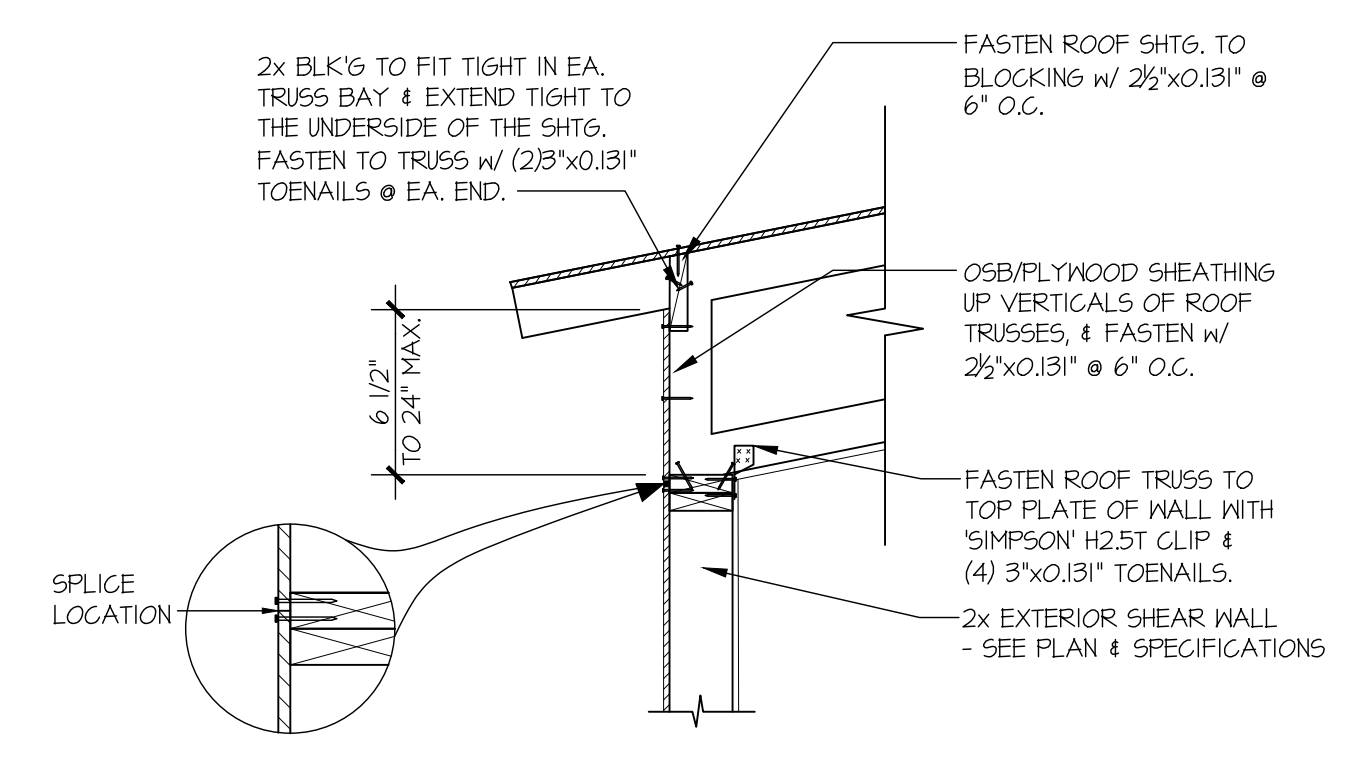
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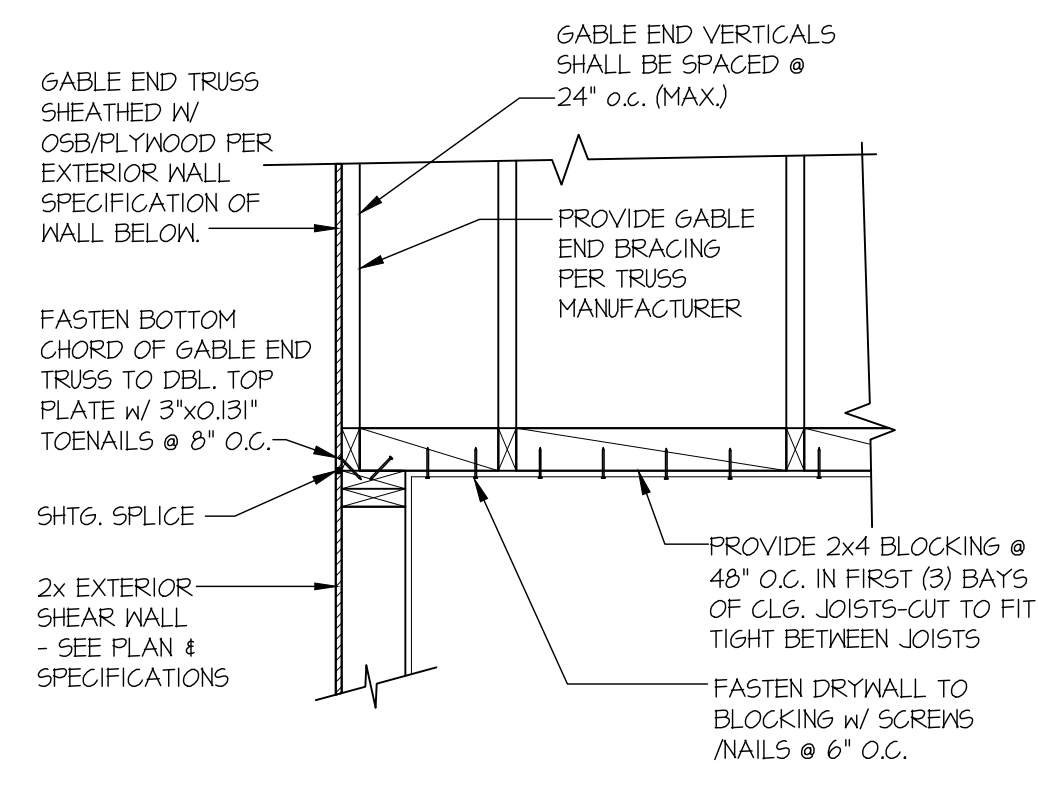
LNL BUILDS

STRUCTURAL DETAILS
2436 74TH AVE SE
MERCER ISLAND, WASHINGTON

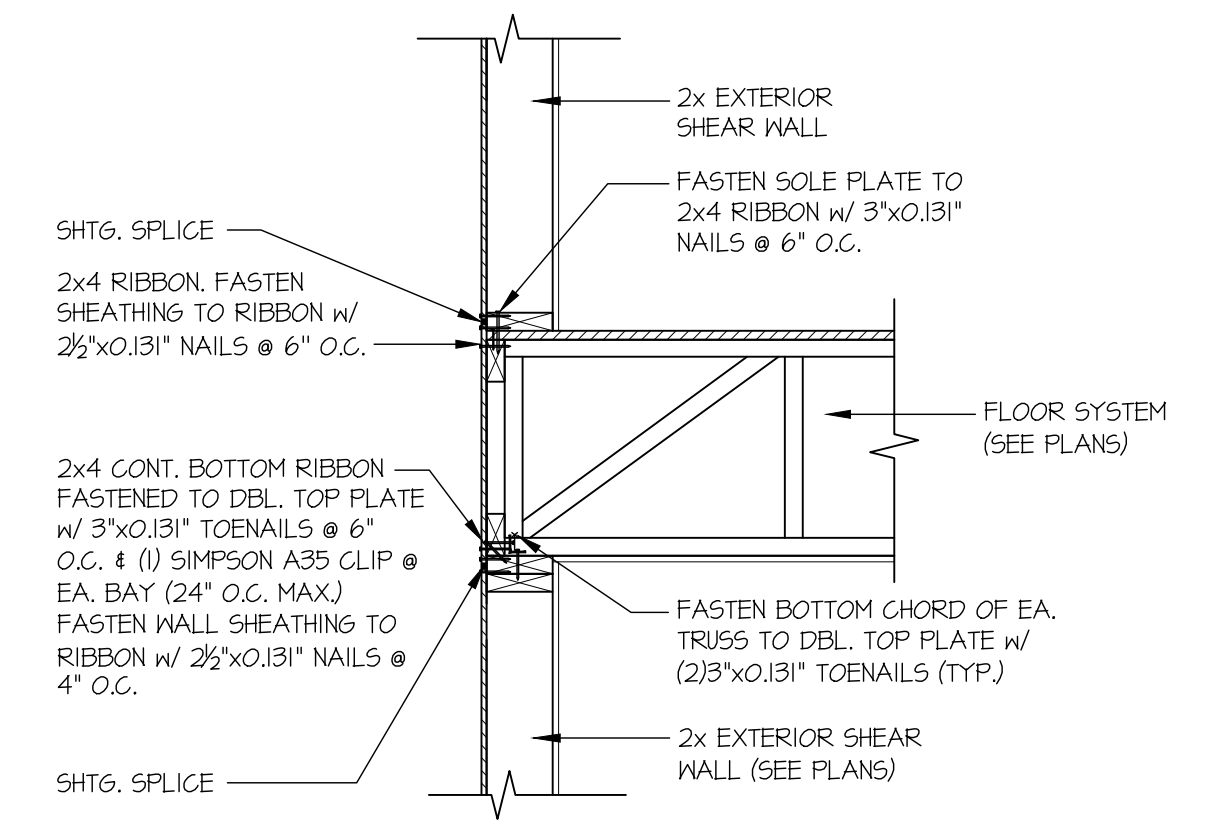
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SD-2



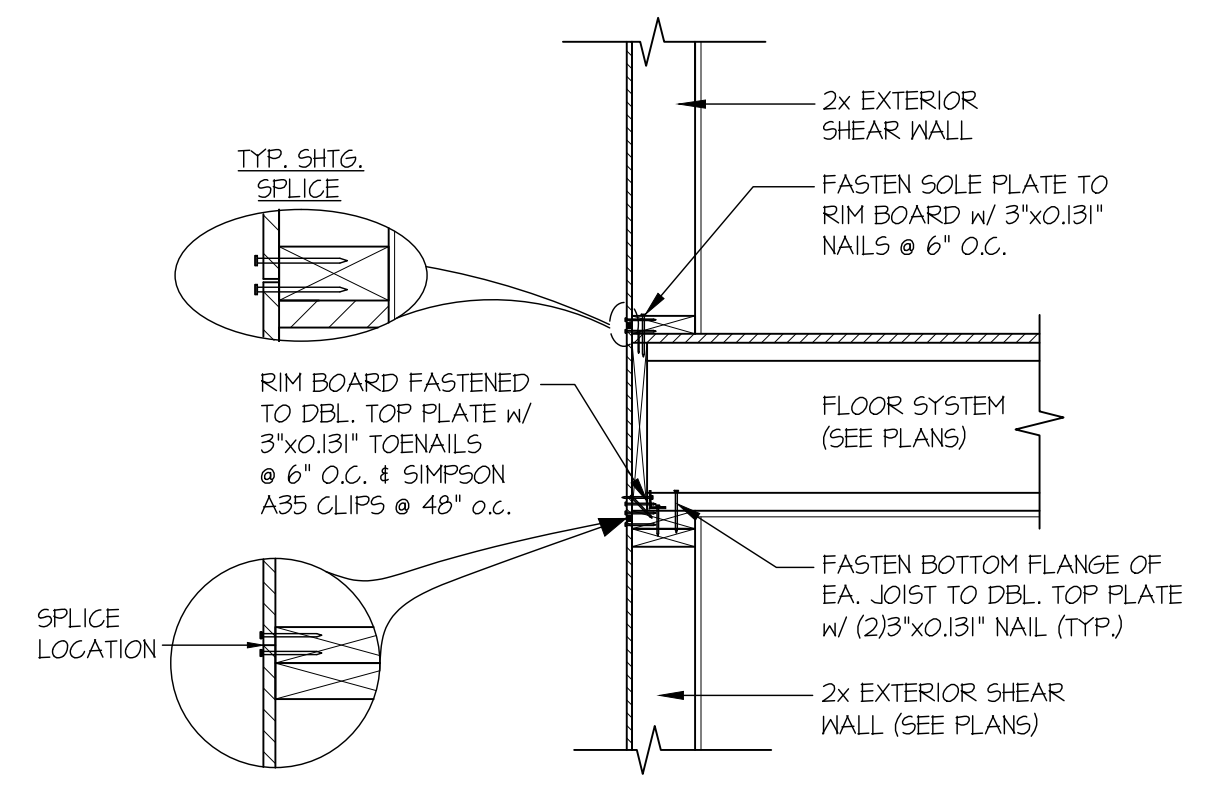
1 SECTION
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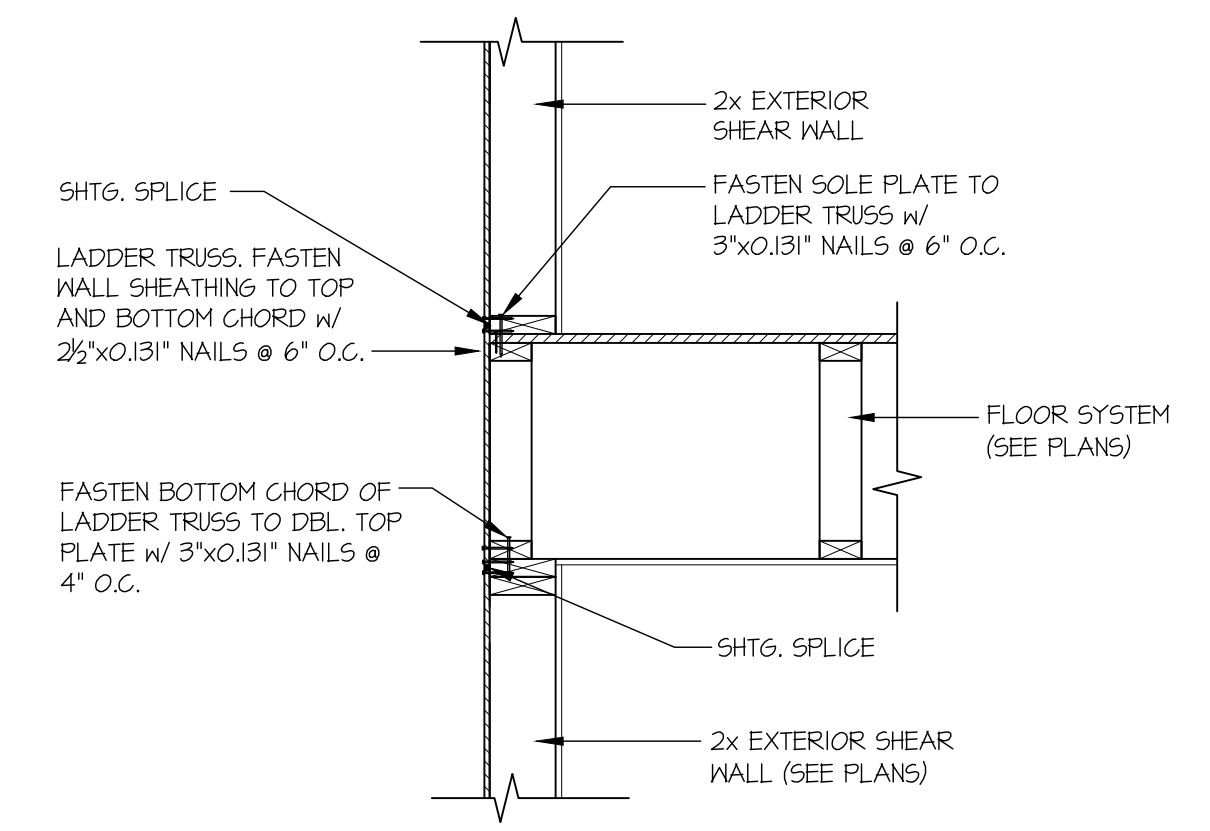
2 TYPICAL GABLE END DETAIL
SCALE: 3/4"=1'-0"



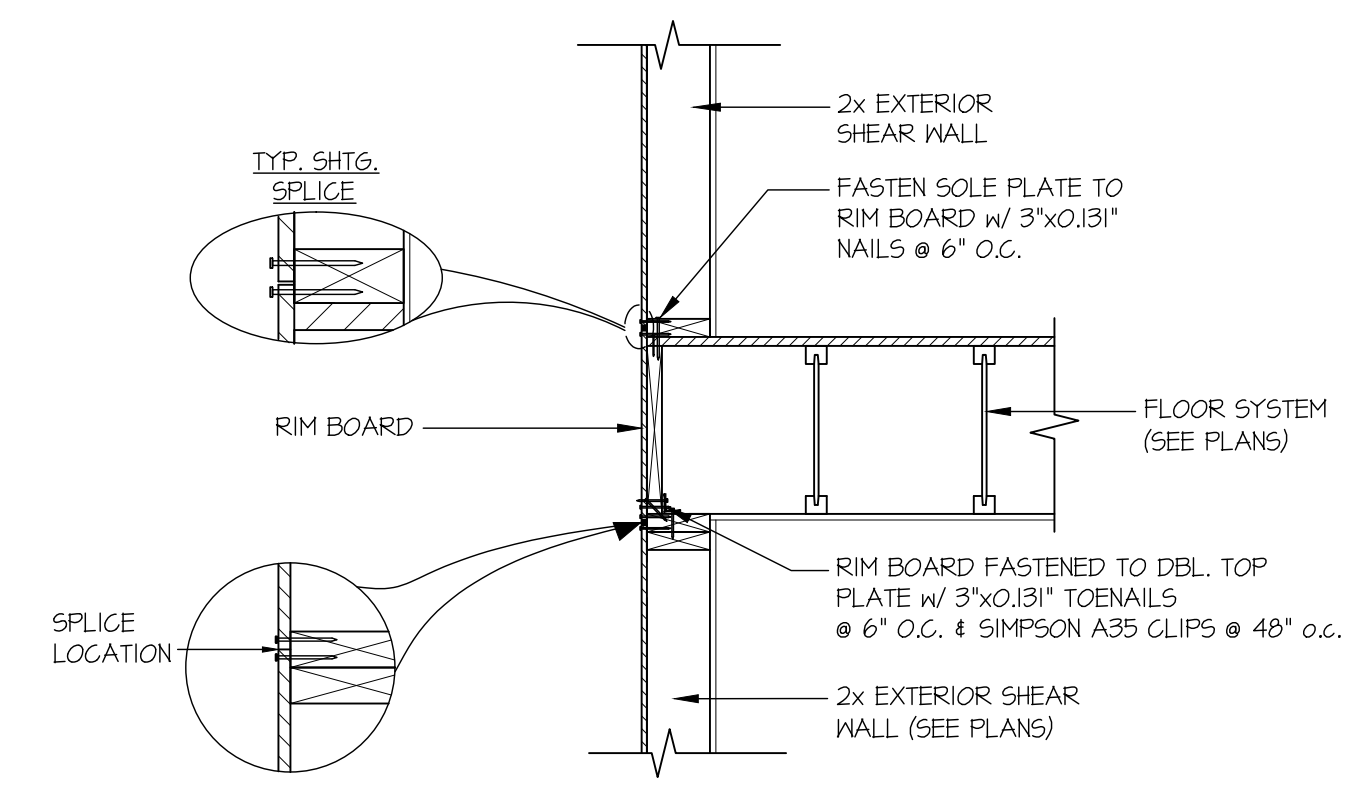
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SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



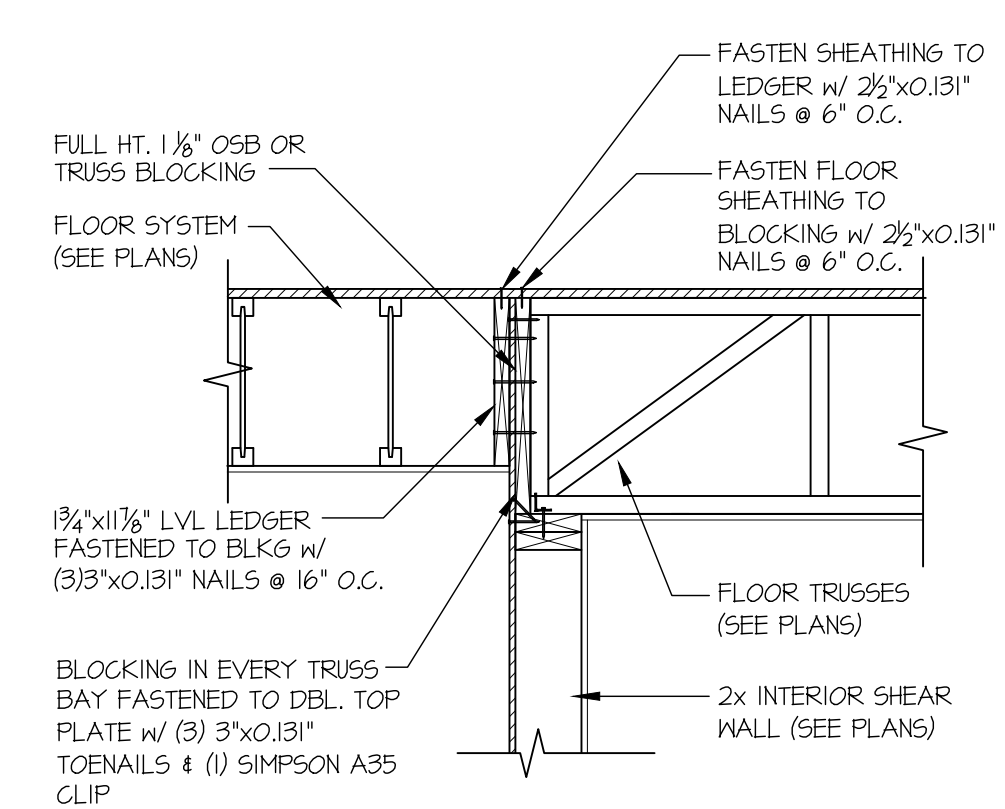
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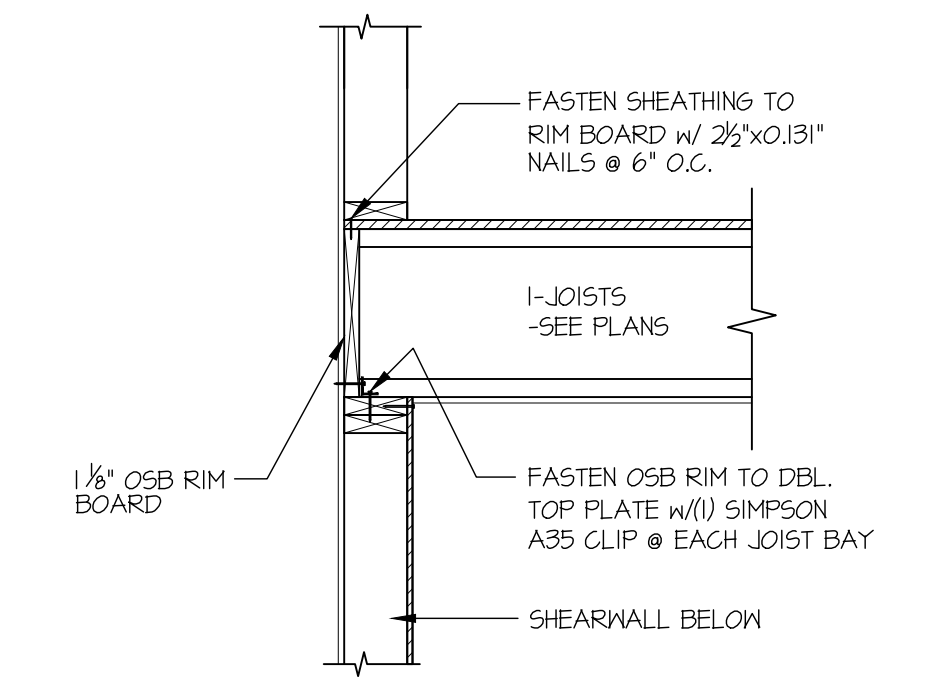
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SCALE: 3/4"=1'-0" PARALLEL FRAMING



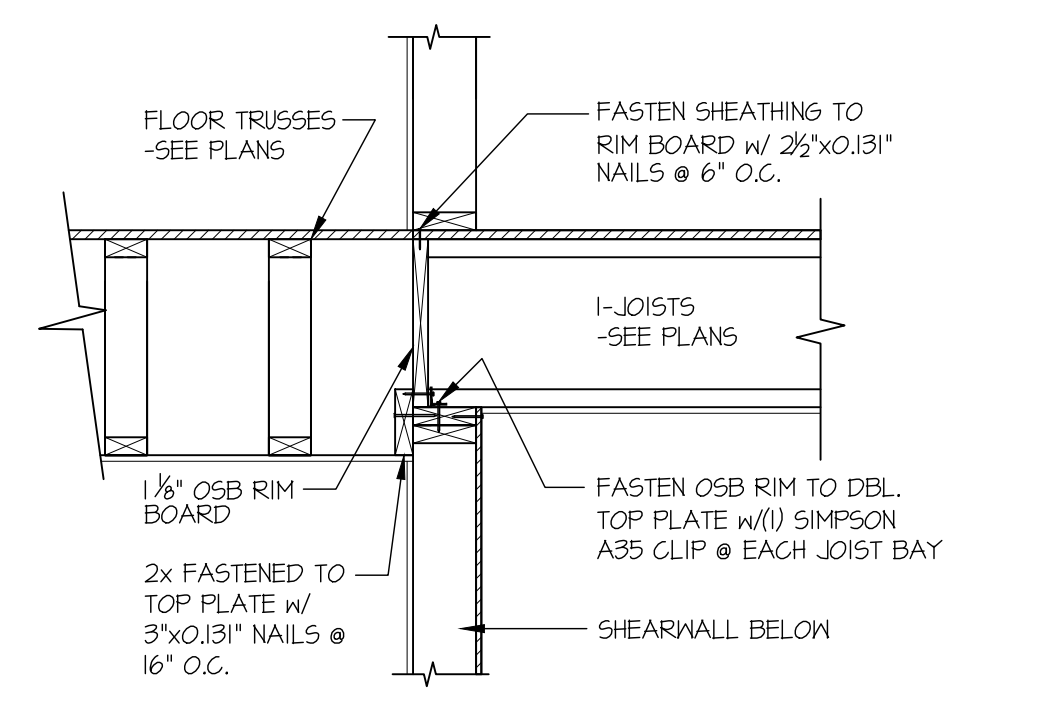
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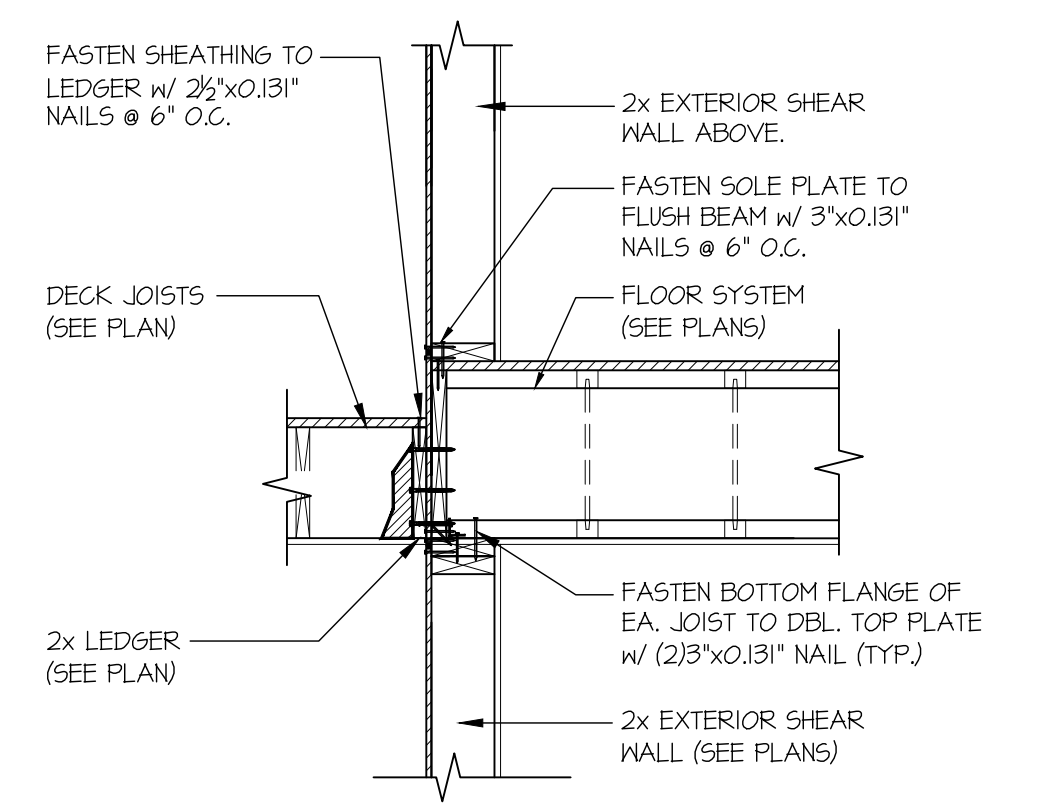
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SCALE: 3/4"=1'-0"



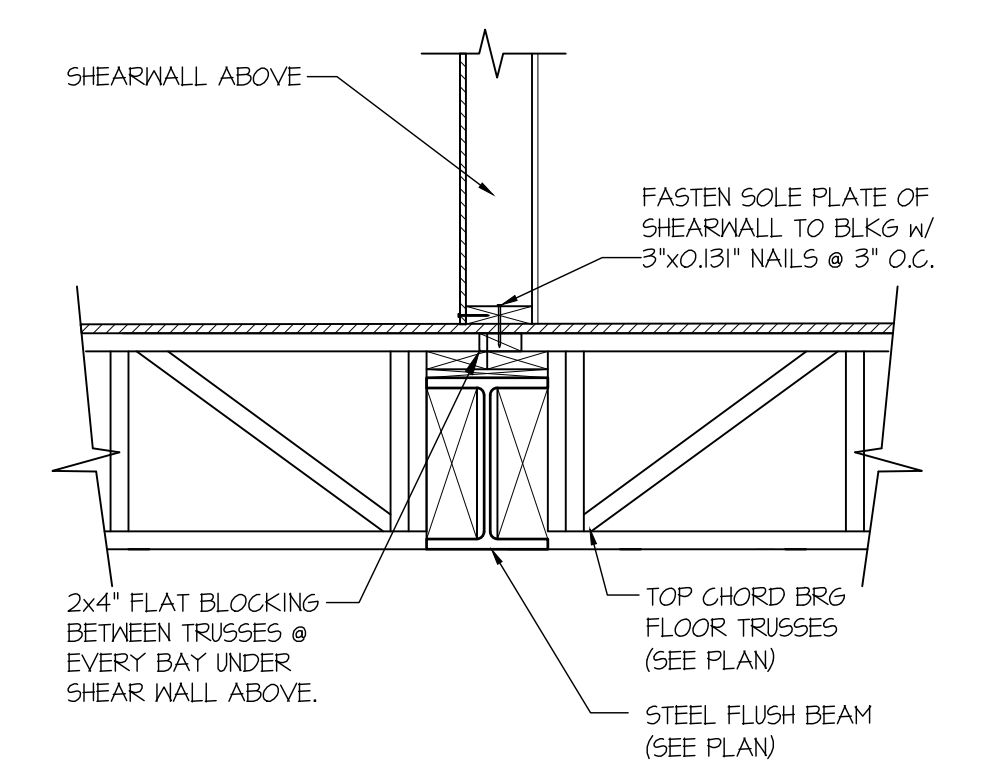
21 SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0" EDGE OF FRAMING



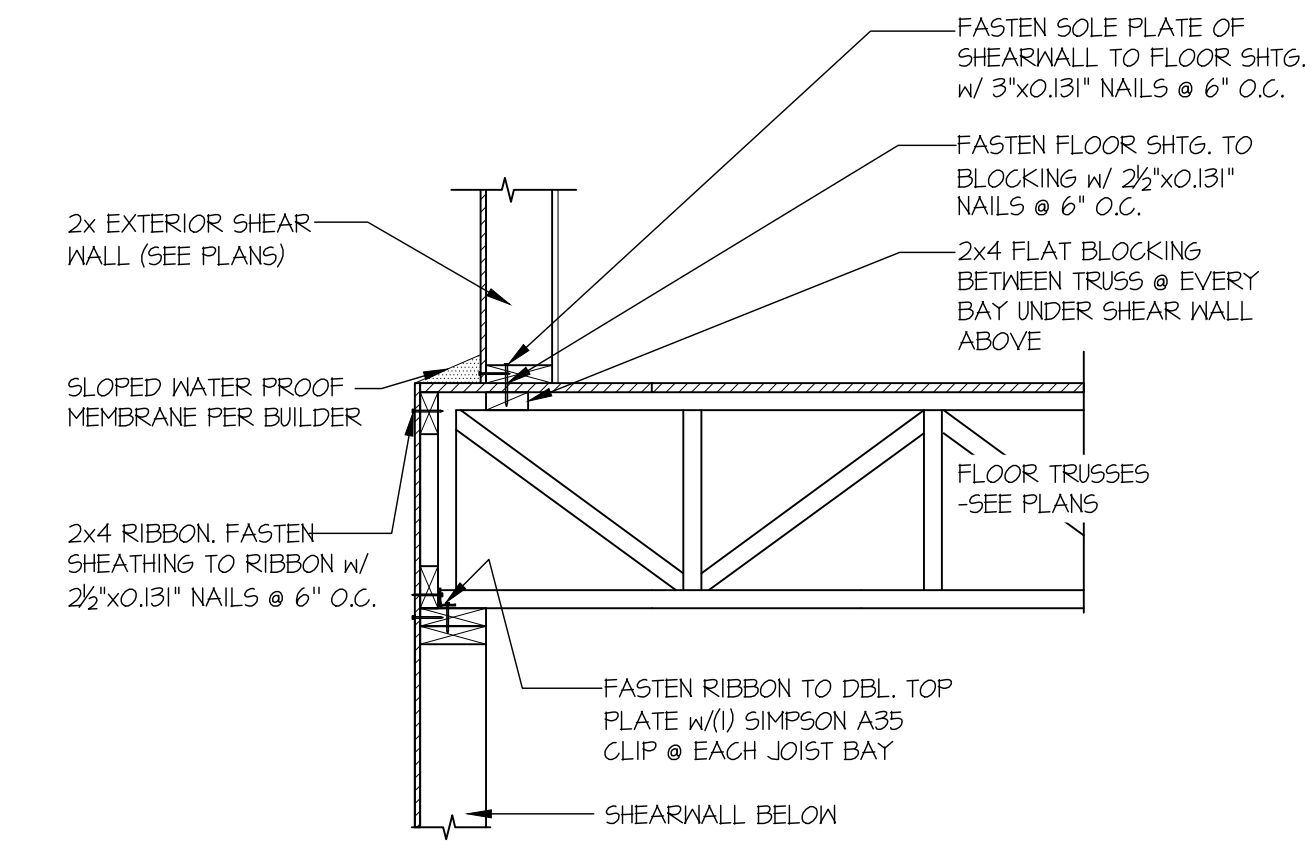
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SCALE: 3/4"=1'-0" EDGE OF FRAMING



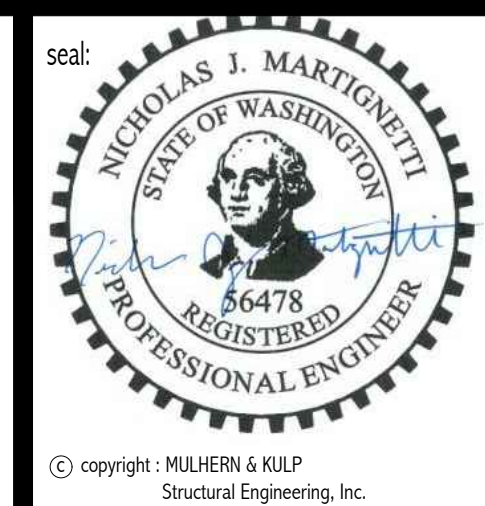
34 SECTION
SCALE: 3/4"=1'-0"



37 SECTION
SCALE: 3/4"=1'-0"



43 SECTION
SCALE: 3/4"=1'-0"



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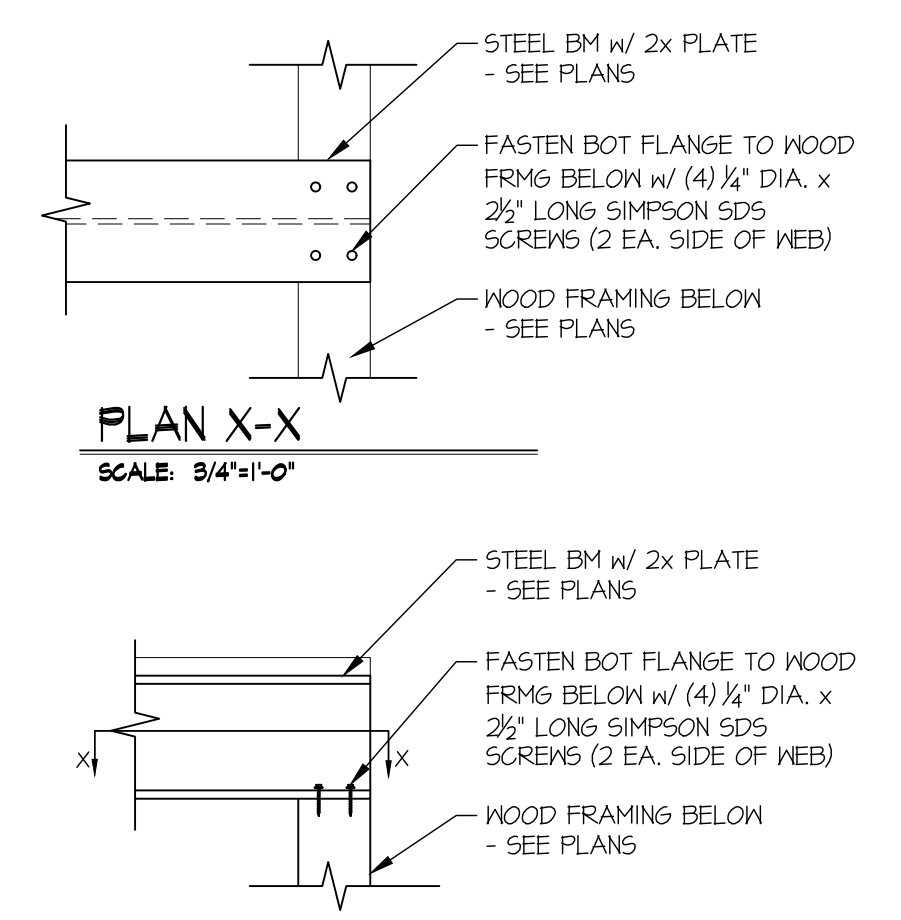
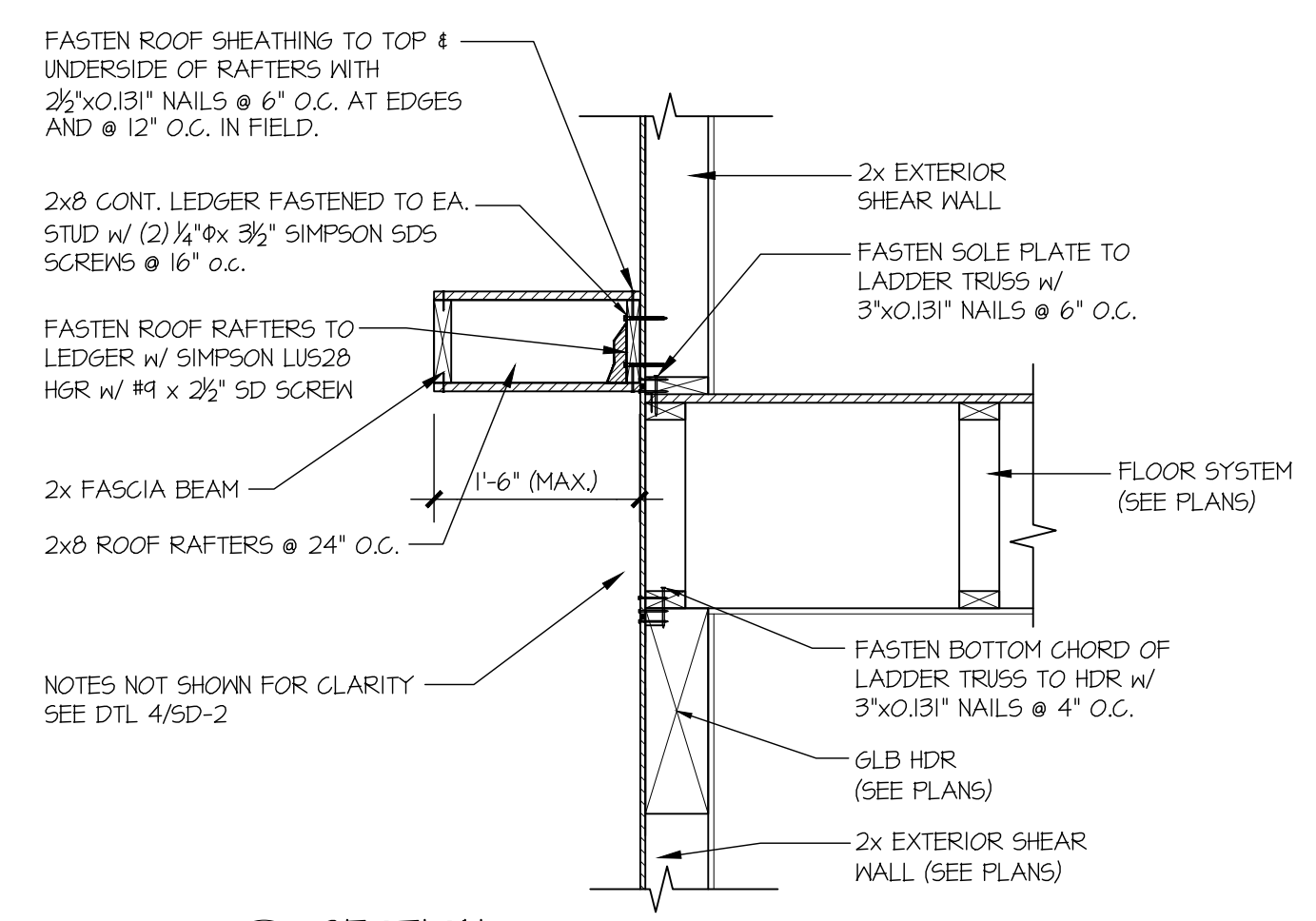
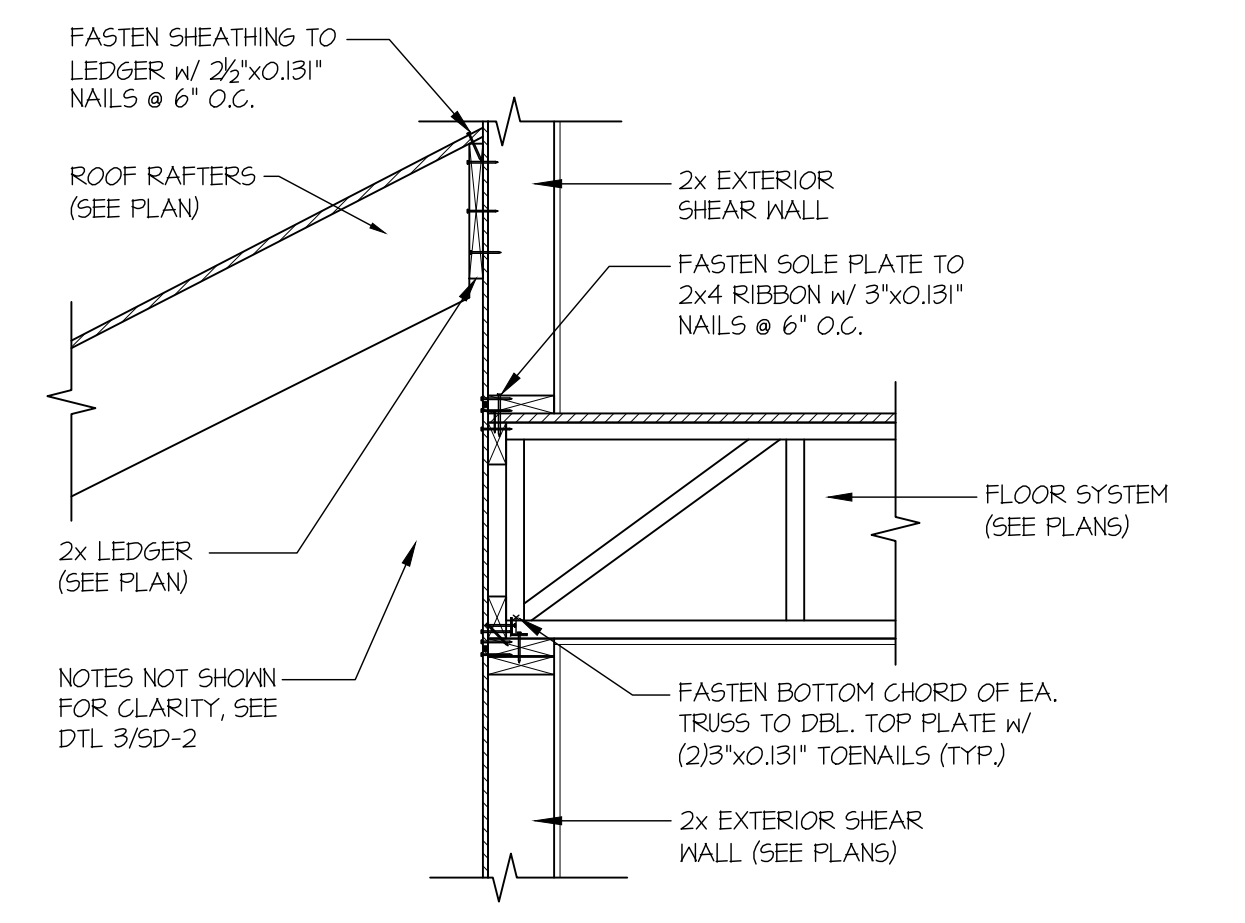
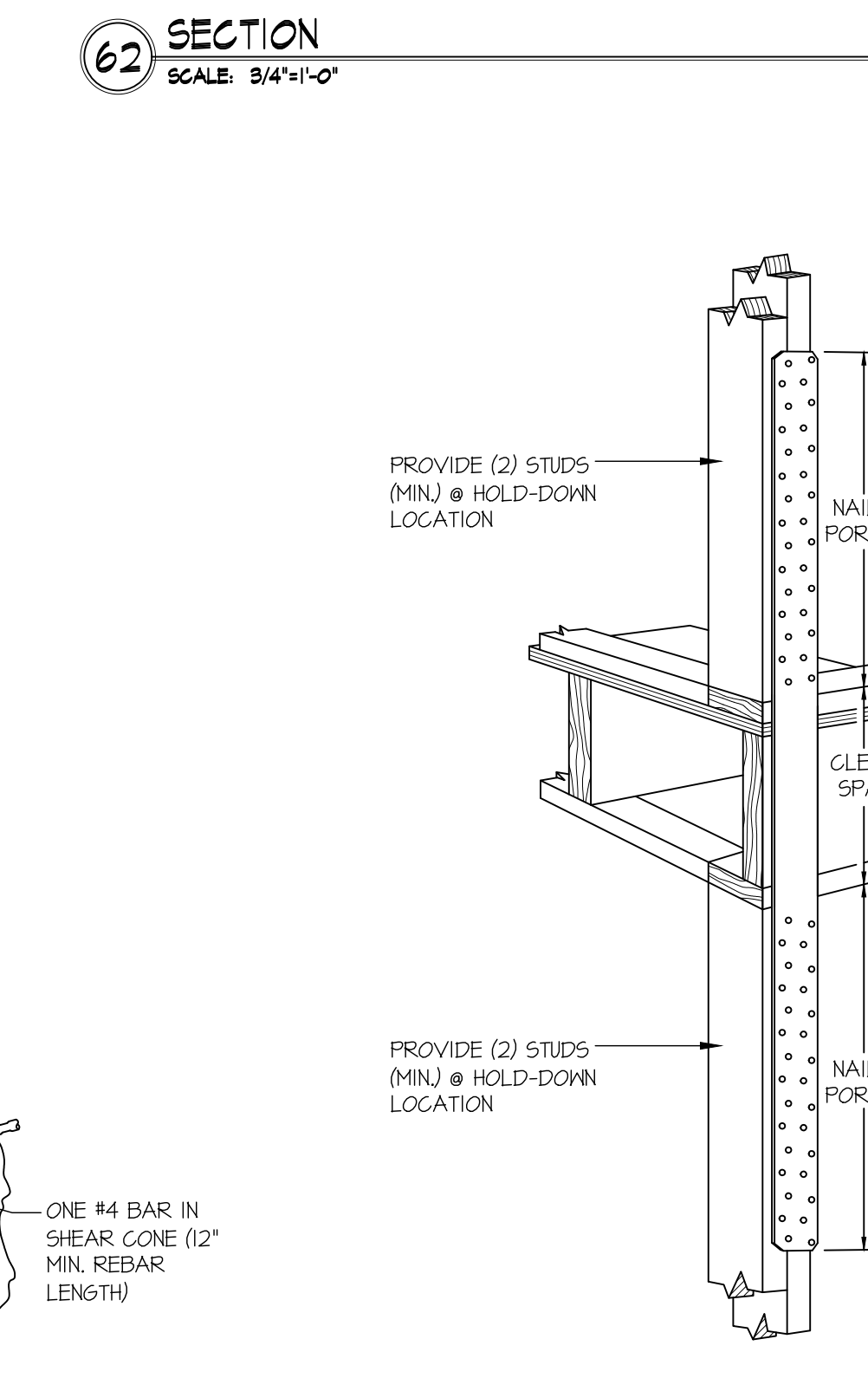
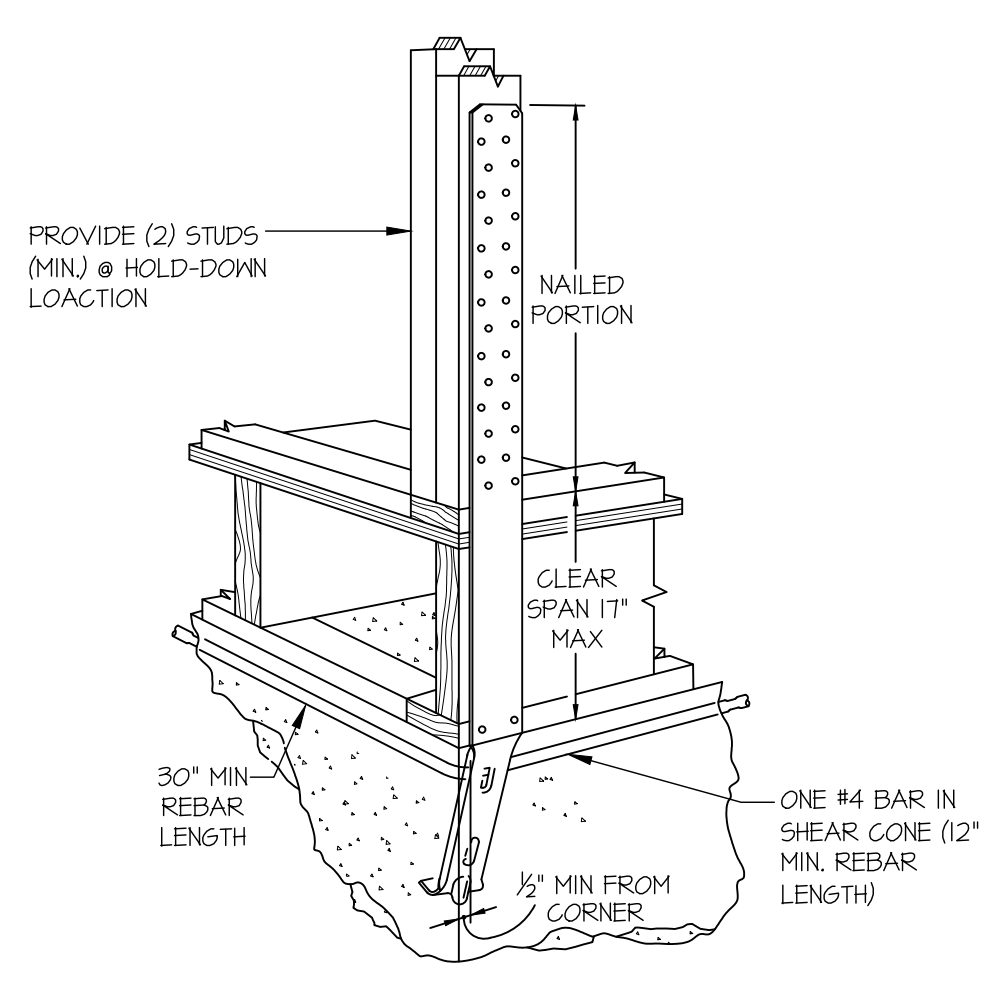
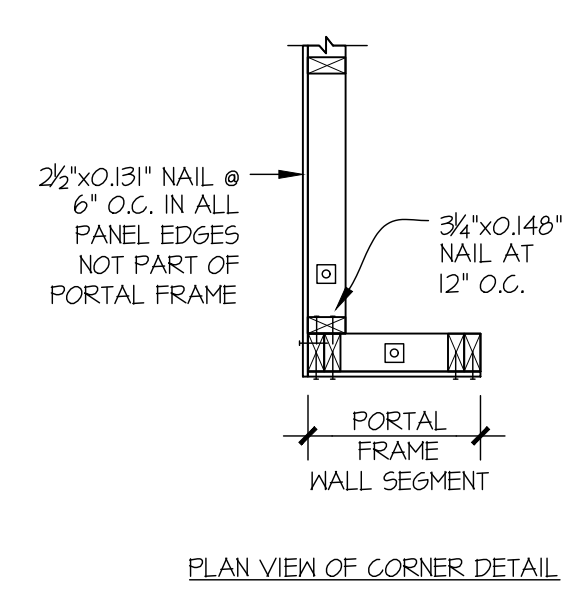
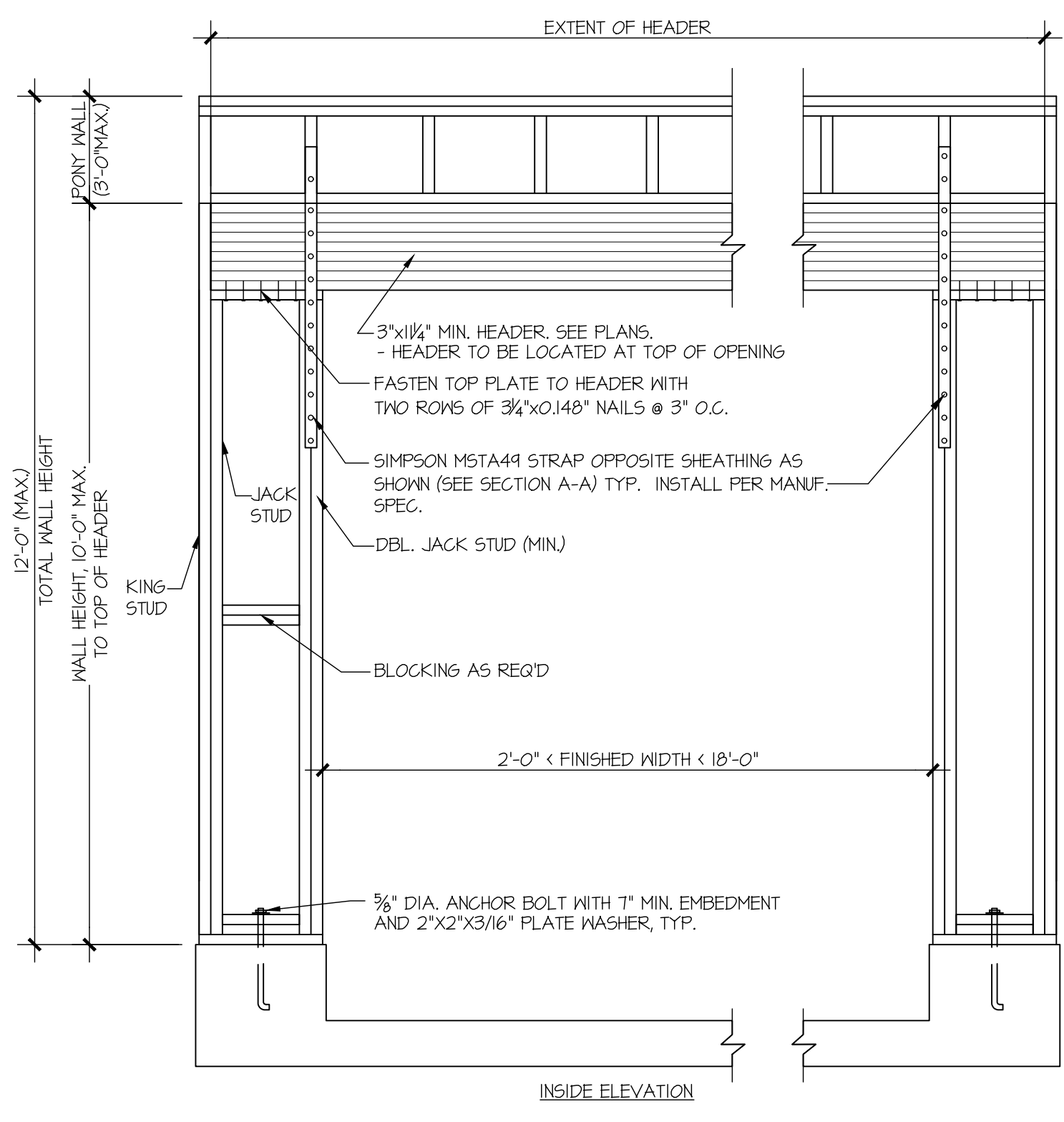
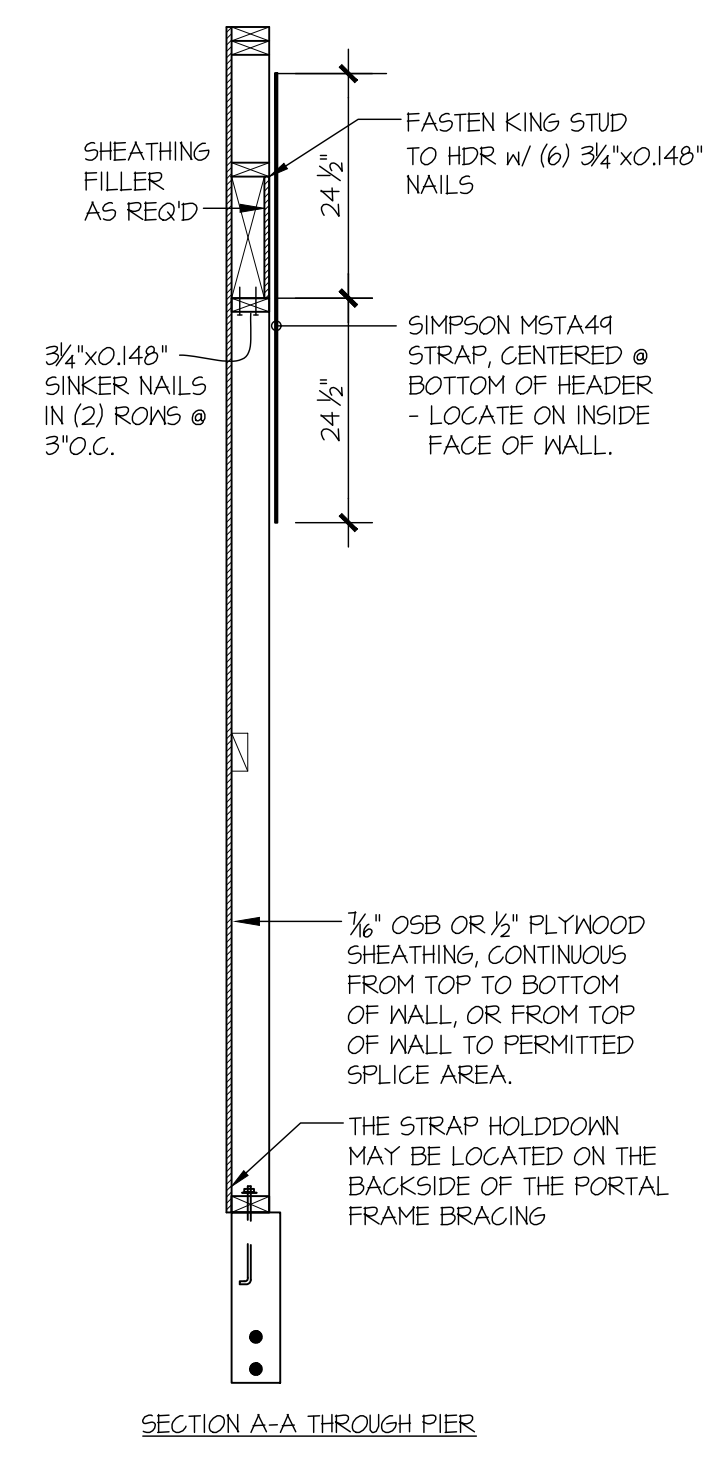
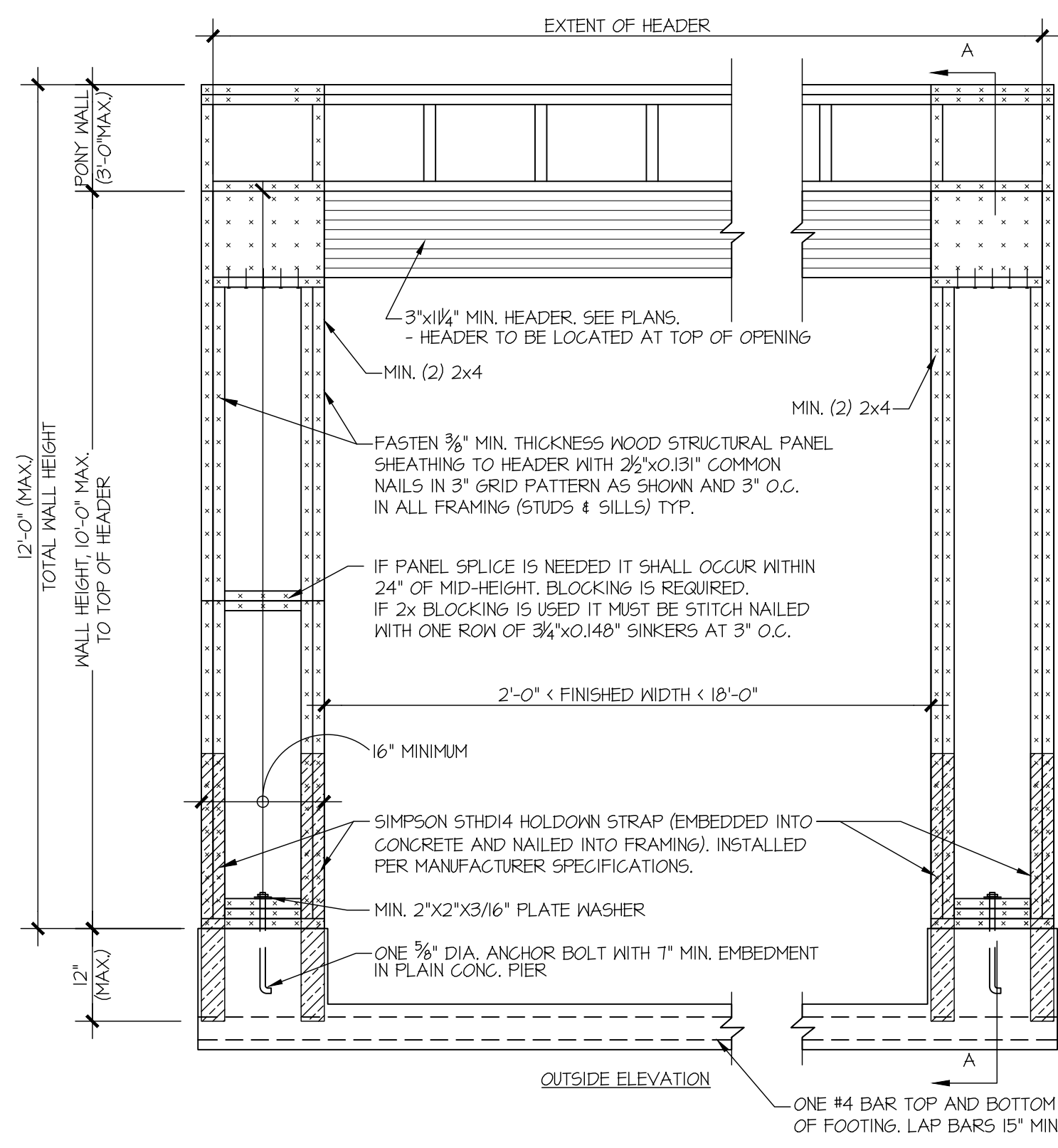
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STRUCTURAL DETAILS
2436 74TH AVE SE
MERCER ISLAND, WASHINGTON

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SD-3



APA PORTAL FRAME DETAIL WITH HOLD-DOWNS
SCALE: N.T.S.

A TYPICAL HOLD-DOWN INSTALLATION
NOT TO SCALE
SIMPSON STHD HD @ FLOOR FRAMING

C TYPICAL HOLD-DOWN INSTALLATION
NOT TO SCALE
SIMPSON STRAP HD @ FLOOR FRAMING

D SECTION
SCALE: 3/4"=1'-0"

SURVEYOR'S NOTES

- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT NO. 0187036-16, UPDATED AND REVISED NOVEMBER 24, 2021. IN PREPARING THIS MAP, D.R. STRONG CONSULTING ENGINEERS, LLC HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS D.R. STRONG CONSULTING ENGINEERS, LLC AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY REFERENCED CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT. D.R. STRONG CONSULTING ENGINEERS, LLC HAS RELIED WHOLLY ON SAID CHICAGO TITLE COMPANY OF WASHINGTON REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE D.R. STRONG CONSULTING ENGINEERS, LLC QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON APRIL 13, 2023. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT ON APRIL 6, 2023 UNLESS NOTED OTHERWISE.
- PROPERTY AREA:
PARCEL A = 7,999± SQUARE FEET (0.1836± ACRES)
PARCEL B = 25,800± SQUARE FEET (0.5923± ACRES)
- ALL DISTANCES ARE IN U.S. SURVEY FEET.
- THIS IS A COMBINED FIELD TRAVERSE AND GLOBAL NAVIGATION SATELLITE SYSTEMS SURVEY. A TRIMBLE S7 ONE SECOND COMBINED ELECTRONIC TOTAL STATION AND A TRIMBLE R121 GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) RECEIVER WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- RTK GNSS OBSERVATIONS WERE MADE ON 04/06/2023 UTILIZING THE WASHINGTON STATE REFERENCE NETWORK (WSRN). THE COMBINED GRID TO GROUND SCALE FACTOR USED IS 0.999986520.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. D.R. STRONG CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.
- THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY.
- CONTOURS ARE DERIVED FROM DIRECT FIELD OBSERVATION. CONTOUR ACCURACY IS WITHIN ONE-HALF CONTOUR INTERVAL PER NATIONAL MAPPING STANDARDS.
- THIS SURVEY WAS PERFORMED IN SUPPORT OF ENGINEERING DESIGN.

CONSTRUCTION SEQUENCE

- ARRANGE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY INSPECTOR.
- FLAG OR FENCE CLEARING LIMITS.
- CALL ONE-CALL UTILITY LOCATE SERVICE PRIOR TO ANY EXCAVATION WORK.
- GRADE INSTALL ROCK CONSTRUCTION ENTRANCE IF NECESSARY.
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- CONSTRUCT RESIDENCE AND OTHER SITE IMPROVEMENTS.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OR COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- MAINTAIN ACCESS TO OFF-SITE ROADS AND DRIVEWAYS AT ALL TIMES DURING THE DURATION OF THE PROJECT.
- RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPs REMOVED IF APPROPRIATE AFTER ACCEPTANCE BY INSPECTOR.

NW 1/4 SECTION 12, TOWNSHIP 24 N, RANGE 4E, W.M.

2436 74TH AVE SE

LEGAL DESCRIPTION:

PARCEL B:
PARCEL B OF CITY OF MERCER ISLAND LOT LINE REVISION NO. SUB14-011, RECORDED UNDER RECORDING NUMBER 20150528900006, IN KING COUNTY WASHINGTON; SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

REFERENCES:

- PLAT - MCGILVRA'S ISLAND ADDITION, VOLUME 16, PAGE 58 OF PLATS.
- LOT LINE REVISION SUB14-011, RECORDING NO. 20150528900006.
- SURVEY - RECORDING NO. 8501049012.

HORIZONTAL DATUM:

WASHINGTON PLANE COORDINATE SYSTEM, NORTH ZONE. NAD83-2011 EPOCH 2010.00 (SEE SURVEY NOTE 6)

VERTICAL DATUM:

NAVD 88 PER GNSS OBSERVATION (SEE SURVEY NOTE 6)

BENCHMARK:

3.5" DIA. CONCRETE MONUMENT WITH 1/2" BRASS PLUG AND PUNCH IN MONUMENT CASE AT THE INTERSECTION OF SE 24TH ST. AND 74TH AVE SE. BENCHMARK IS TOP OF CONCRETE MONUMENT. ELEVATION = 155.20'

P.E. CERTIFICATION FOR SECTION B:

I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR 2430 74TH AVE SE HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY FOR PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP BMPs PREPARED BY ME.

TESC LEGEND:

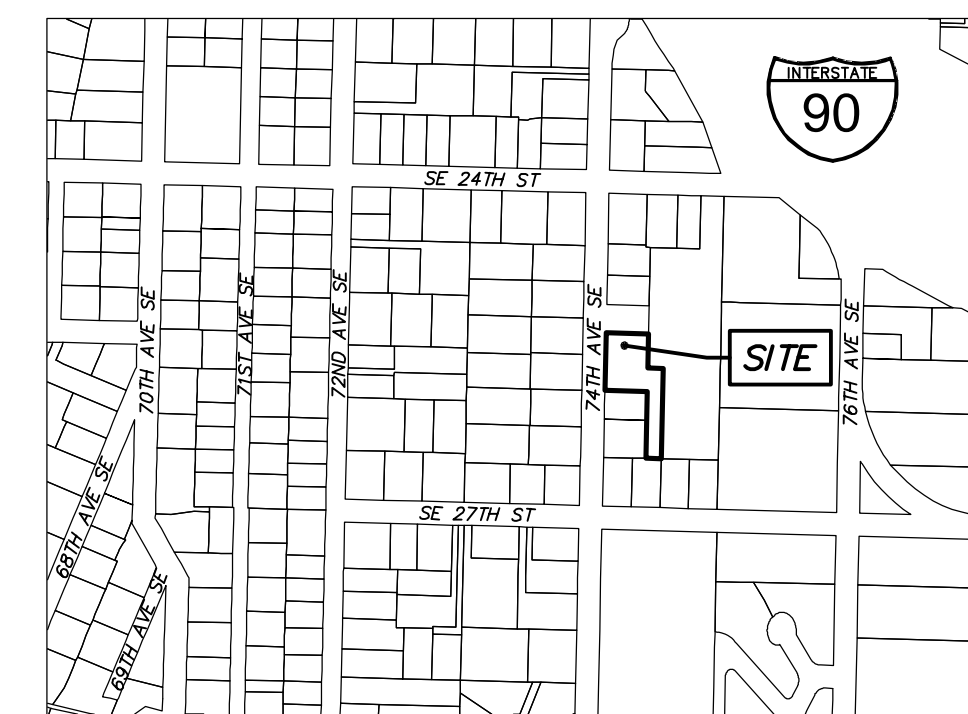
FOR ADDITIONAL TESC DETAILS REFER TO DOE 2012/ 2014 SWMMWW

- CL CONSTRUCTION LIMITS, TO BE FLAGGED OR FENCED WHEN NO SILT FENCE IS PROPOSED (BMP C103)
- SF SILT FENCE IS PROPOSED (BMP C233)
- CE STABILIZED CONSTRUCTION ENTRANCE (BMP C105)
- SSV STREET SWEEPING & VACUUMING
- IP INLET PROTECTION (BMP C220)
- DC DUST CONTROL (BMP C140)
- MU MULCHING, MATTING, & COMPOST BLANKETS (BMP C121, BMP C125)
- PS PERMANENT SEEDING AND PLANTING (BMP C120)
- SA POST-CONSTRUCTION SOIL QUALITY & DEPTH (BMP TS.13) SEE DETAIL ON SHEET C2
- CH CONCRETE HANDLING (BMP C151)
- PC PLASTIC COVERING (BMP C123)

EARTHWORK VOLUME CALCULATIONS

| | CUT VOLUME (CU. YDS.) | FILL VOLUME (CU. YDS.) | NET VOLUME (CU. YDS.) |
|--------|-----------------------|------------------------|-----------------------|
| SITE 9 | | 100 | 91 FILL |

ALL VOLUMES ARE APPROXIMATE AND ARE PROVIDED FOR PERMITTING PURPOSES AND REPRESENT FINISH GRADE TO EXISTING GRADE AS SHOWN. CONTRACTOR SHALL RELY ON HIS/HER OWN ESTIMATES FOR DETERMINING ACTUAL EARTHWORK QUANTITIES. THE VOLUMES DO NOT INCLUDE STRIPPING, STRUCTURAL EXCAVATION, UTILITY EXCAVATION, EXPANSION/COMPACTION FACTOR OR ANY SOIL TYPE RESTRICTIONS.



VICINITY MAP

SCALE 1" = ±500'

PROJECT CONTACTS:

- PROPERTY OWNER/APPLICANT.....VANN LANZ
.....LNL BUILDS, LLC.
.....317 4TH STREET
.....KIRKLAND, WA 98033
.....(206) 499-1277
.....VANN@LNLBUILDS.COM
- CIVIL ENGINEER/SURVEYOR.....D.R. STRONG CONSULTING ENGINEERS, INC.
.....620 7TH AVENUE
.....KIRKLAND, WASHINGTON 98033
.....(425) 827-3063
.....CONTACT: MAHER A. JOUDI, P.E.
.....MAHER.JOUDI@DRSTRONG.COM
- GEOTECHNICAL ENGINEER.....GEENGINEERS, INC.
.....8410 154TH AVE NE
.....REDMOND, WASHINGTON 98052
.....(425) 861-6000
- ENVIRONMENTAL ENGINEER.....ALTMANN OLIVER ASSOCIATES, LLC.
.....PO BOX 578
.....CARNATION, WA 98014
.....(425) 333-4535
.....CONTACT: JOHN ALTMANN
.....JOHN@ALTOLIVER.COM
- ARBORIST.....DAVEY RESOURCE GROUP, INC.
.....18809 10TH AVE NE
.....SHORELINE, WA
.....(253) 656-1650

PROJECT DESCRIPTION:

- SITE ADDRESS.....2436 74TH AVE SE
TAX PARCEL NUMBER.....5315100455
NUMBER OF LOTS.....1
ZONING.....R-9.6
SITE AREA.....25,799 S.F. (0.592 ACRES)
GROSS PROJECT AREA.....6,561 S.F. (0.194 ACRES)
PROPOSED IMPERVIOUS AREA.....3,418 S.F. (13.2%)
OFFSITE IMPERVIOUS AREA.....478 S.F.
REPLACED IMPERVIOUS AREA.....0 S.F. (0.0%)
PROPOSED PERVIOUS AREA.....22,381 S.F. (66.7%)
EXISTING LOT COVERAGE.....0 S.F. (0.0%)
PROPOSED LOT COVERAGE.....2,616 S.F. (10.14%)
NUMBER OF PARKING SPACES.....2 MIN.

GRADING NOTE:

TOTAL AREA TO BE DISTURBED ON-SITE...5,521 S.F.
TOTAL AREA TO BE DISTURBED OFF-SITE...1,040 S.F.
FILL SHALL CONSIST OF SUITABLE MATERIAL ORIGINATING FROM THE SITE OR FROM AN APPROVED SUPPLIER.

CONSTRUCTION NOTES:

- ALL UTILITIES TO BE DISCONNECTED OR REMOVED PRIOR TO THE START OF THE PROJECT. COORDINATE WITH UTILITY COMPANIES PRIOR TO DISCONNECTION OR REMOVAL.

SOIL AMENDMENT NOTE:

AREA (A) ENCOMPASSES THE ENTIRE SITE OUTSIDE OF HARD SURFACES. SEE LANDSCAPE PLANS FOR TURF AND PLANTING BED AREAS. STOCKPILE SITE DUFF AND TOPSOIL FOR ALL DISTURBED PERVIOUS AREAS AND REAPPLY WITH SOIL AMENDMENT AFTER GRADING AND CONSTRUCTION. MINIMUM SCARIFICATION DEPTH 8-INCHES. PROVIDE A TOTAL OF 14.4 C.Y. OF AMENDMENT FOR AN AREA OF 2,665 S.F. (AREAS FOR TURF AND PLANTING BEDS TO BE DETERMINED)

GENERAL EROSION CONTROL NOTES:

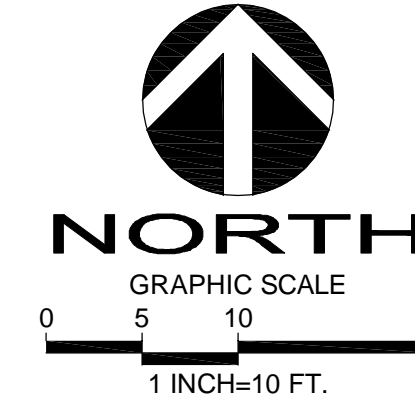
ALL DISTURBED AREAS SHALL BE STABILIZED USING TYPICAL TESC BMP'S. THE LIMITS OF DISTURBANCE WILL BE DELINEATED WITH HIGH VISIBILITY CONSTRUCTION FENCING. DURING CONSTRUCTION SILT FENCES WILL BE PLACED DOWN SLOPE OF DISTURBED AREAS ALONG WITH STRAW MATTING, NETS, OR PLASTIC COVERING OVER EXPOSED SOIL OR STOCKPILES. TREES TO BE RETAINED WILL BE PROTECTED WITH HIGH VISIBILITY CONSTRUCTION FENCING.
AT THE COMPLETION OF THE PROJECT ALL DISTURBED AREAS WILL BE STABILIZED WITH COMPOST AMENDED SOILS AND HYDROSEEDING OR SOD.
EXPOSED SOILS SHALL BE WORKED DURING THE WEEK UNTIL THEY HAVE BEEN STABILIZED. SOIL STOCKPILES WILL BE LOCATED WITHIN THE DISTURBED AREA SHOWN ON THE SWPPP SITE MAP. SOIL EXCAVATED FOR THE FOUNDATION WILL BE BACKFILLED AGAINST THE FOUNDATION AND GRADED TO DRAIN AWAY FROM THE BUILDING. NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS FROM MAY 1 TO SEPTEMBER 30 OR MORE THAN 2 DAYS FROM OCTOBER 1 TO APRIL 30. ONCE THE DISTURBED LANDSCAPE AREAS ARE GRADED, THE GRASS AREAS WILL BE AMENDED USING BMP TS.13 POST-CONSTRUCTION SOIL QUALITY AND DEPTH. ALL STOCKPILES WILL BE COVERED WITH PLASTIC OR BURLAP IF LEFT UNWORKED.

SHEET INDEX:

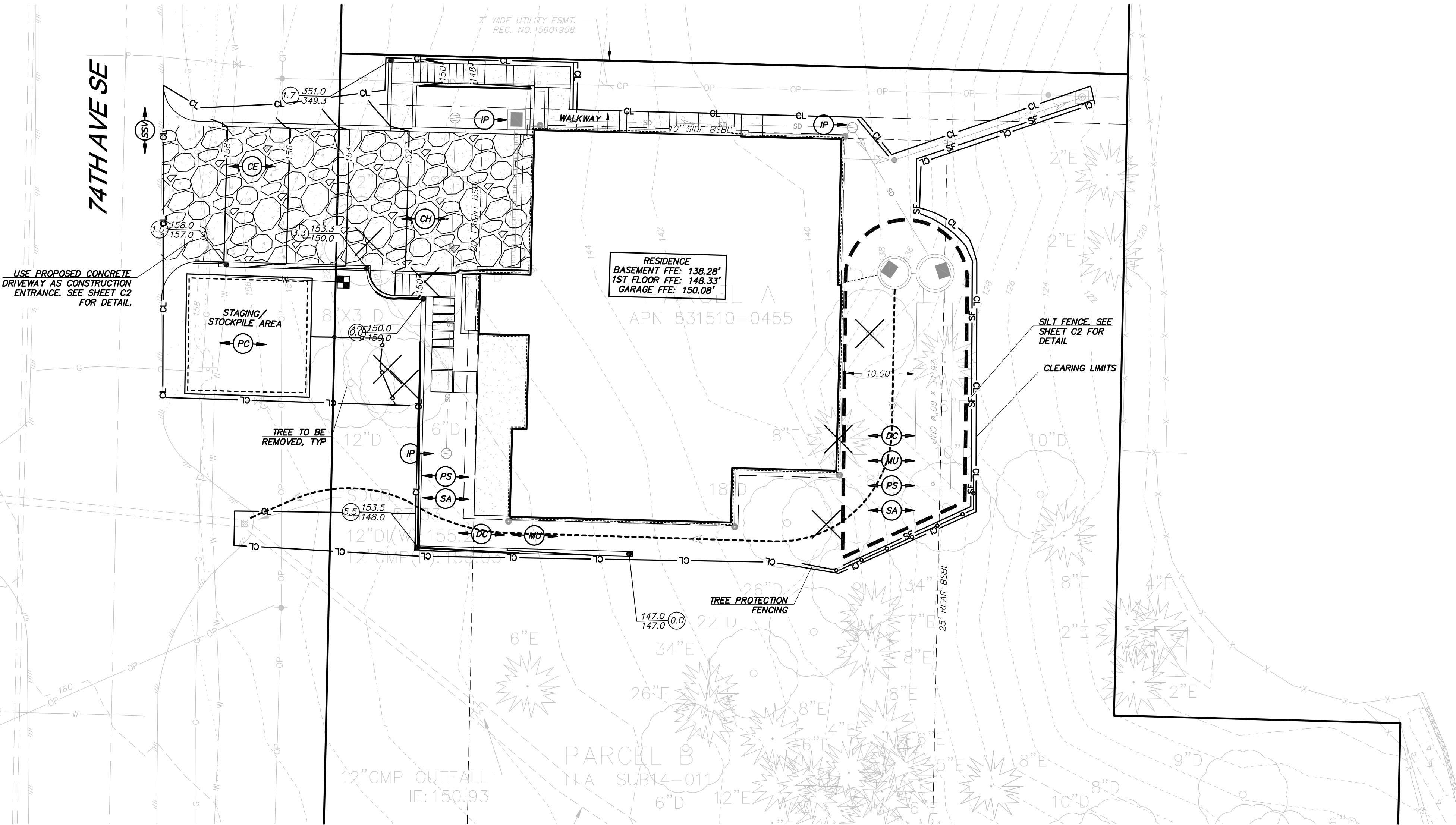
- C1 OF 6 COVER SHEET & T.E.S.C. PLAN
- C2 OF 6 T.E.S.C. NOTES & DETAILS
- C3 OF 6 TREE RETENTION PLAN
- C4 OF 6 TREE RETENTION PLAN
- C5 OF 6 STORM DRAINAGE PLAN
- C6 OF 6 NOTES & DETAILS

BASIS OF BEARINGS:

N 88°29'52" W BETWEEN THE MONUMENTS FOUND IN PLACE ALONG SE 24TH ST.



811
Call 2 Working Days Before You Dig
Utilities Underground Location Center
(D.M.T.N.D.OR.WA)



DRS
D.R. STRONG
CONSULTING ENGINEERS
ENGINEERS PLANNERS SURVEYORS
620 - 7th AVENUE KIRKLAND, WA 98033
O 425.827.3063 F 425.827.2423

2430 74TH AVE SE
COVER SHEET & T.E.S.C. PLAN
2436 74TH AVE SE
MERCER ISLAND
WASHINGTON 98040
PARCEL NO. 5315100455

**VANN LANZ
LNL BUILDS, LLC**
317 4TH STREET
KIRKLAND, WASHINGTON 98033
206.499.1277

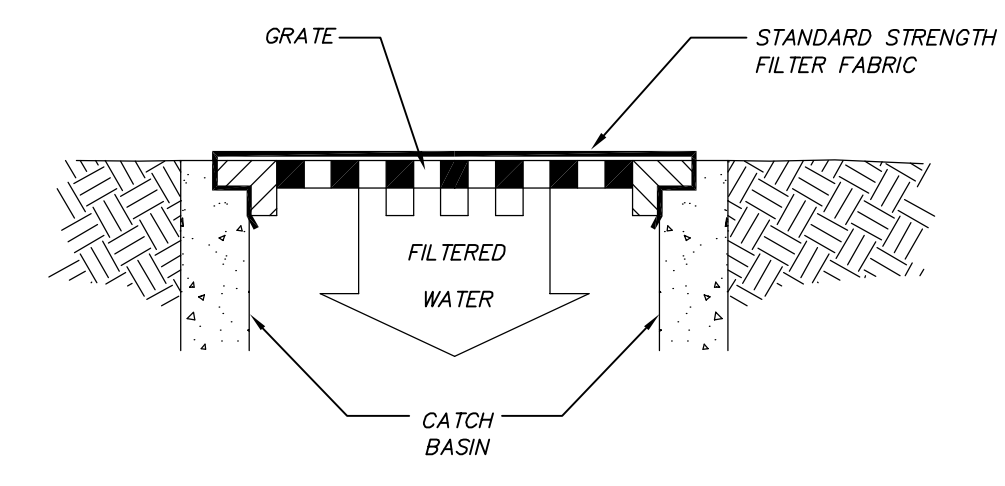


| DATE | REVISION | INITIALS | COMMENTS |
|----------|----------|----------|----------|
| 10.18.23 | | | |

DRAFTED BY: RMF
DESIGNED BY: RMF
PROJECT ENGINEER: MAJ
DATE: 9.26.23
PROJECT NO.: 23001

DRAWING: C1
SHEET: 1 OF 6

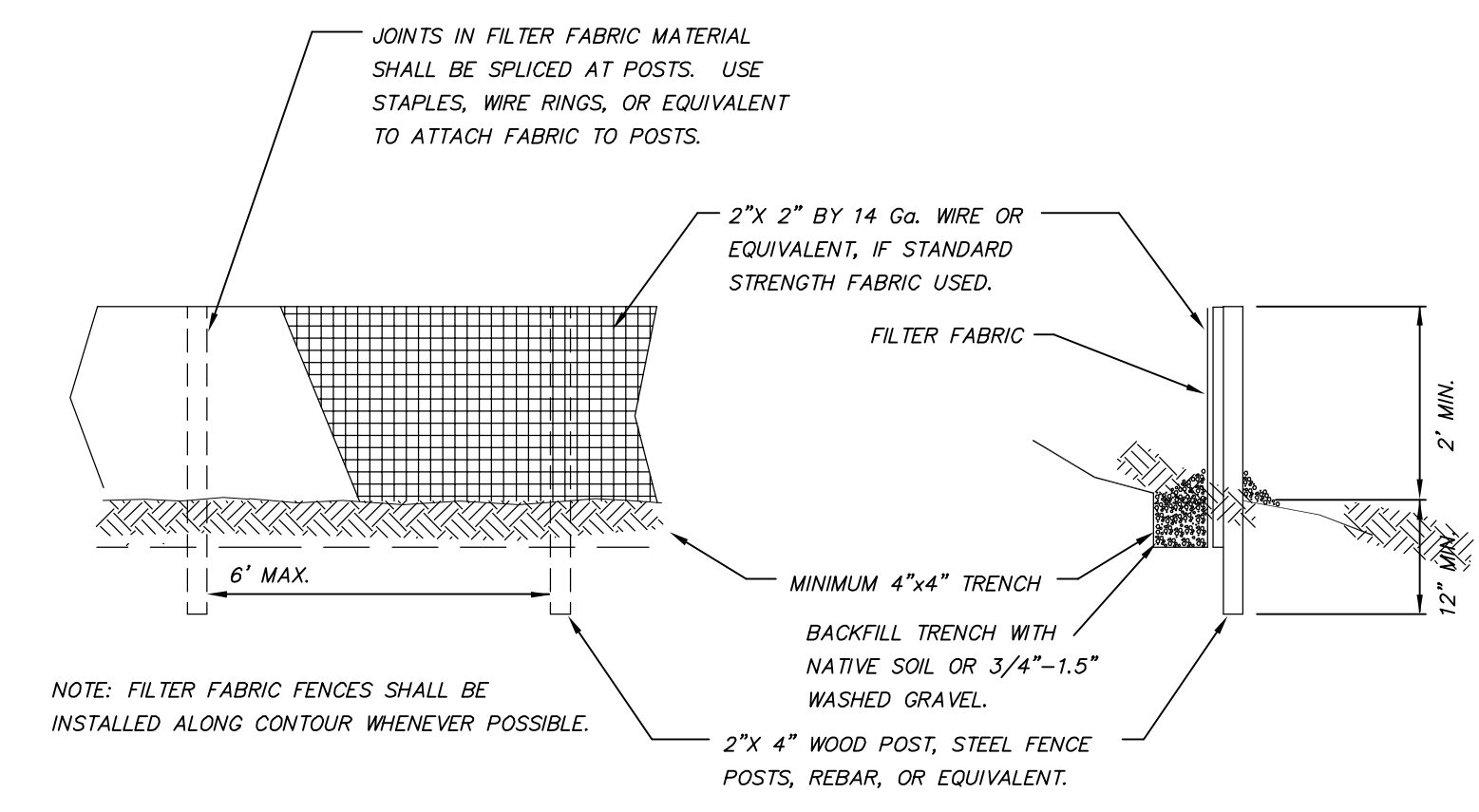
NW 1/4 SECTION 12, TOWNSHIP 24 N, RANGE 4E, W.M.
2436 74TH AVE SE



NOTE: ONLY TO BE USED WHERE PONDING OF WATER ABOVE THE CATCH BASIN WILL NOT CAUSE TRAFFIC PROBLEMS AND WHERE OVERFLOW WILL NOT RESULT IN EROSION OF SLOPES.

CATCH BASIN INLET FILTER

NTS



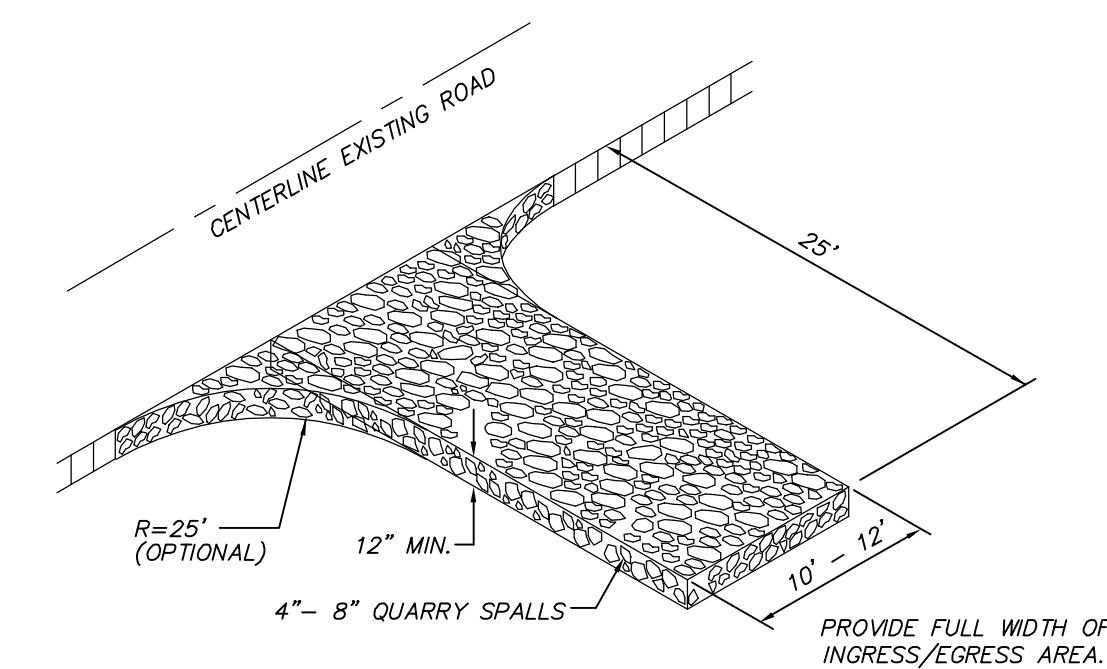
NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

SILT FENCE DETAIL

NTS

CATCH BASIN INSERT MAINTENANCE STANDARDS

1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON SITE OR HAULED OFF SITE.
2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASINS PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.



DRIVEWAYS SHALL BE PAVED TO THE EDGE OF R-O-W PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY
 IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD

GRAVEL CONSTRUCTION ENTRANCE

NTS

EROSION AND SEDIMENT CONTROL NOTES:

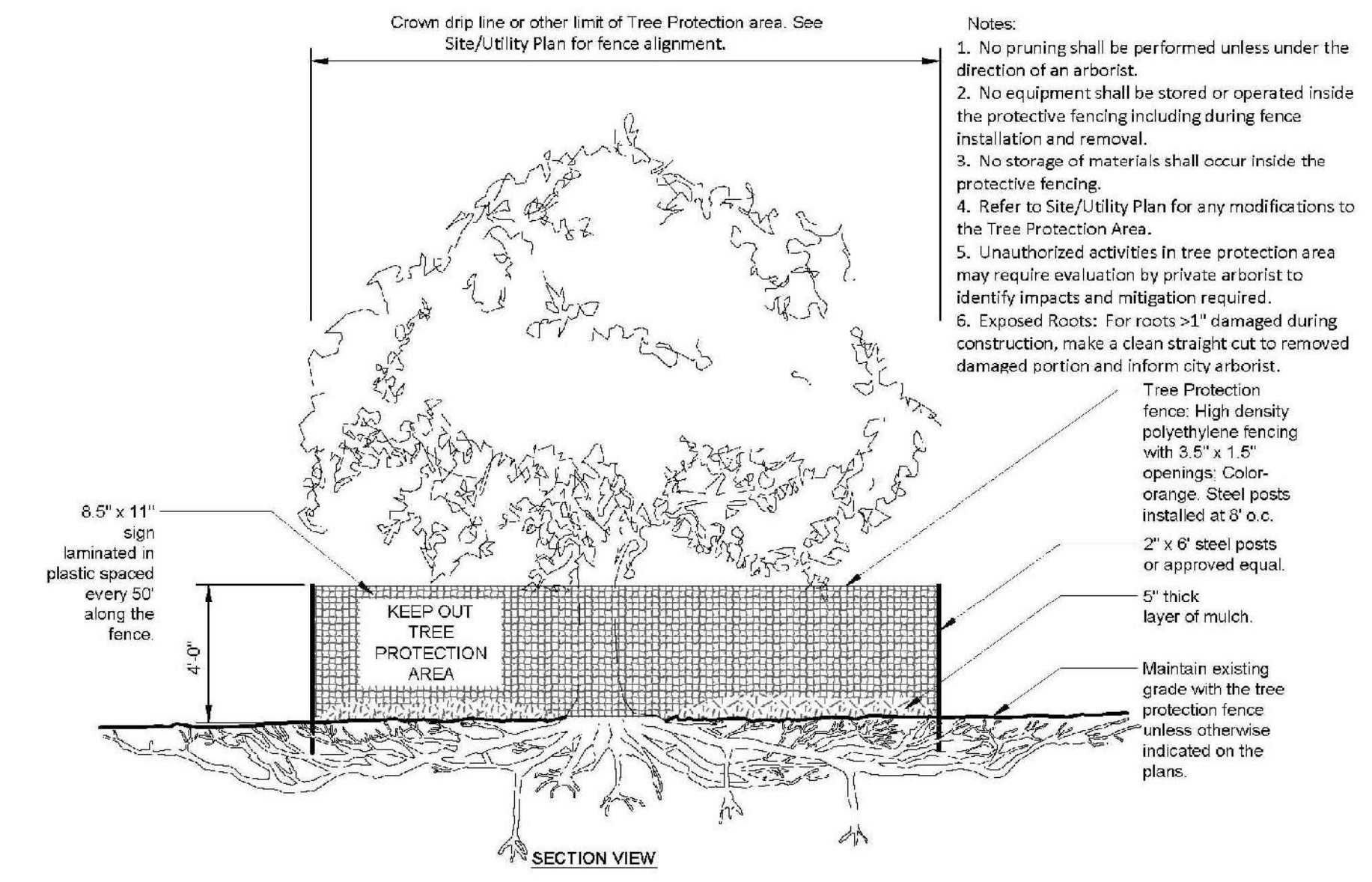
1. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES DURING THE WET SEASON (OCT 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
7. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ALL DISTURBED AREAS SHALL BE STABILIZED USING TYPICAL TESC BMP'S. THE LIMITS OF DISTURBANCE WILL BE DELINEATED WITH HIGH VISIBILITY CONSTRUCTION FENCING. DURING CONSTRUCTION SILT FENCES WILL BE PLACED DOWN SLOPE OF DISTURBED AREAS ALONG WITH STRAW MATTING, NETS, OR PLASTIC COVERING OVER EXPOSED SOIL OR STOCKPILES. TREES TO BE RETAINED WILL BE PROTECTED WITH HIGH VISIBILITY CONSTRUCTION FENCING.
10. ALL SOIL STOCKPILES TO BE COVERED WITH PLASTIC SHEETING UNTIL SUCH TIME THAT THE SOIL IS EITHER USED OR REMOVED. PILES SHOULD BE SITUATED AND LOCATED SUCH THAT SEDIMENT DOES NOT RUN INTO THE STREET OR ONTO ADJOINING PROPERTIES.
11. ALL EXPOSED SOIL AREAS SHALL BE COVERED OR PROTECTED USING AN APPROPRIATE BMP. STABILIZE DENUDED AREAS OF THE SITE BY MULCHING, SEEDING, PLANTING, OR SODDING.
12. ALL ADJACENT PROPERTIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION BY APPROPRIATE USE OF VEGETATION BUFFER STRIPS, SEDIMENT BARRIERS, OR FILTERS, DIKES, MULCHING, OR BY A COMBINATION OF THESE MEASURES AND OTHER APPROPRIATE BMP'S.
13. PROVIDE FOR PERIODIC STREET CLEANING TO REMOVE ANY SEDIMENT THAT MAY HAVE BEEN TRACKED OFF-SITE. SEDIMENT SHOULD BE REMOVED BY SHOVELING OR SWEEPING AND CAREFULLY REMOVED TO A SUITABLE DISPOSAL AREA WHERE IT WILL NOT BE RE-ERODED.
14. ALL INSTALLED EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED REGULARLY BY THE GENERAL CONTRACTOR ESPECIALLY AFTER ANY LARGE STORM. MAINTENANCE, INCLUDING REMOVAL AND PROPER DISPOSAL OF SEDIMENT SHOULD BE A NECESSARY TO INSURE THAT SEDIMENT AND EROSION IS CONTROLLED ON SITE.

2430 74TH AVE SE

T.E.S.C. NOTES & DETAILS
 2436 74TH AVE SE
 MERCER ISLAND
 WASHINGTON 98040
 PARCEL NO. 5315100455

VANN LANZ
 LNL BUILDS, LLC

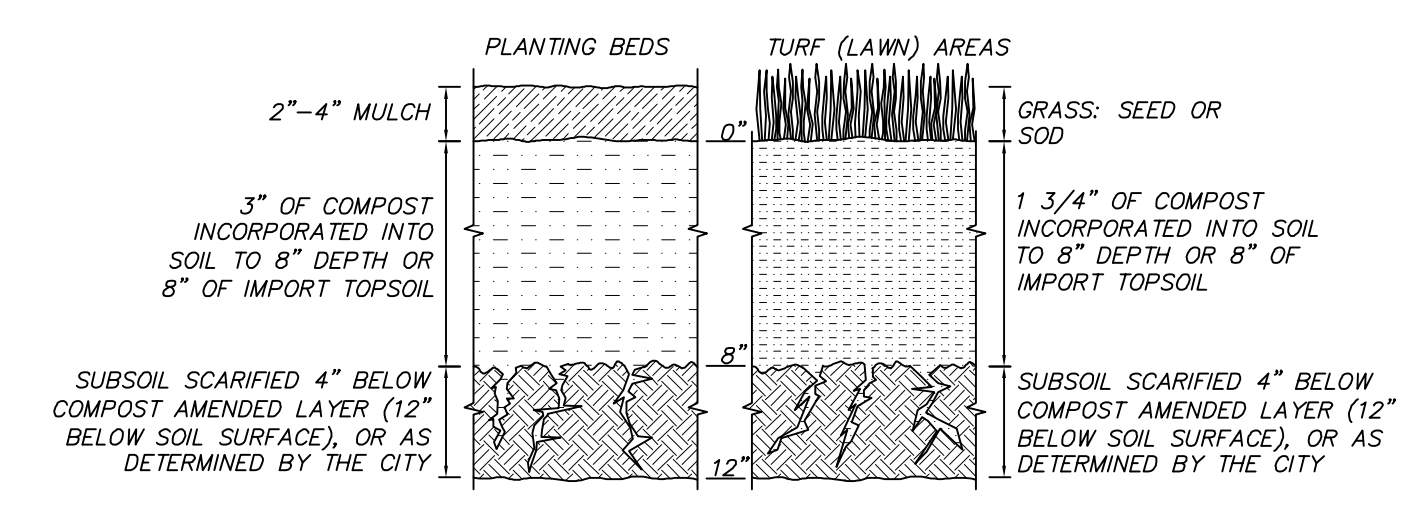
317 4TH STREET
 KIRKLAND, WASHINGTON 98033
 206-499-1277



TREE PROTECTION DETAIL

NTS

TREE PROTECTION FENCING



SOIL AMENDMENT

PER BMP 75.13

NTS

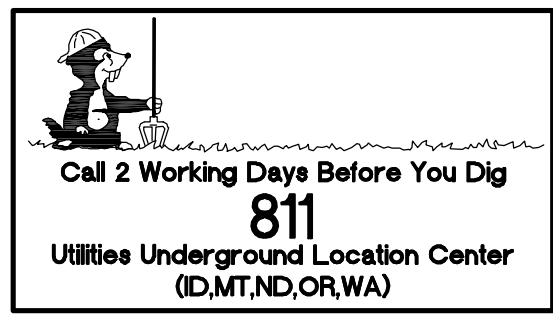
SOIL AMENDMENT NOTES

- *SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.
- *SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:
1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
 2. MULCH PLANTING BEDS WITH 2-4 INCHES OF ORGANIC MATERIAL.
 3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - A. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIODEGRADATION (BMP 12.30). WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65% AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - B. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A) ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B. TESTING PARAMETERS, IN WAC 173-350-220.
- *IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:
1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
 2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
 3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
 4. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.
- MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.
- MAINTENANCE:
 *ESTABLISH SOIL QUALITY AND DEPTH TOWARD THE END OF CONSTRUCTION AND ONCE ESTABLISHED, PROTECT FROM COMPACTION, SUCH AS FROM LARGE MACHINERY USE, AND FROM EROSION.
 *PLANT VEGETATION AND MULCH THE AMENDED SOIL AREA AFTER INSTALLATION.
 *LEAVE PLANT DEBRIS OR ITS EQUIVALENT ON THE SOIL SURFACE TO REPLENISH ORGANIC MATTER.
 *REDUCE AND ADJUST, WHERE POSSIBLE, THE USE OF IRRIGATION, FERTILIZERS, HERBICIDES AND PESTICIDES, RATHER THAN CONTINUING TO IMPLEMENT FORMERLY ESTABLISHED PRACTICES.

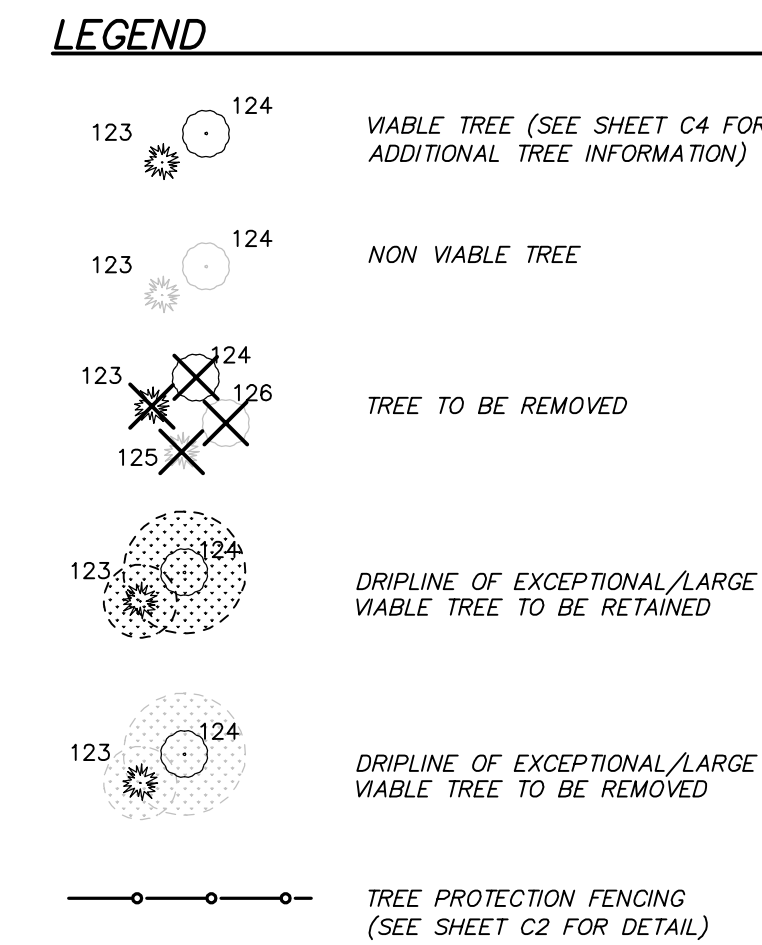
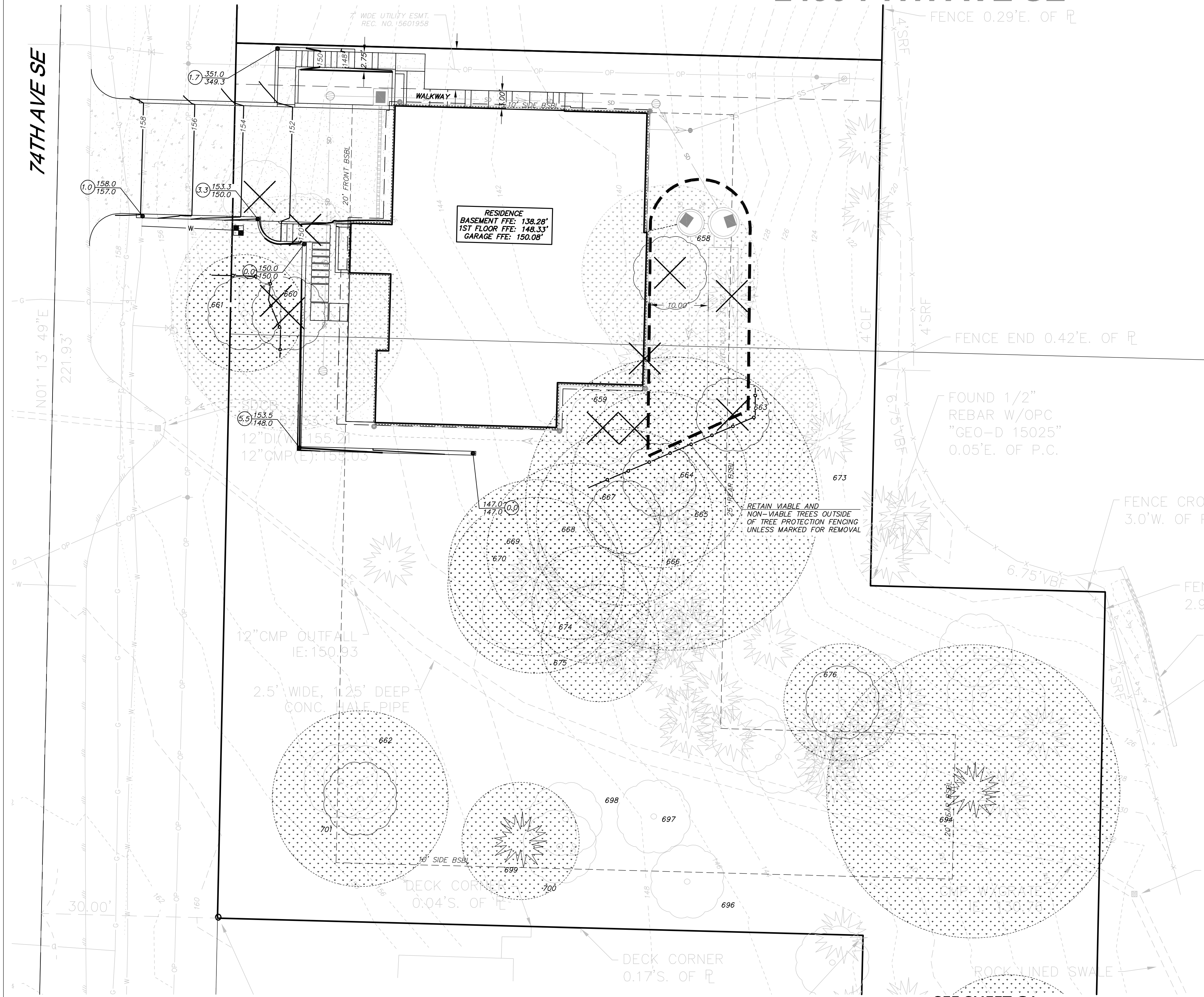
| DATE | REVISION | INTAKE COMMENTS |
|----------|----------|-----------------|
| 10.18.23 | | |

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: MAJ
 DATE: 9.26.23
 PROJECT NO.: 23001

DRAWING: C2
 SHEET: 2 OF 6



NW 1/4 SECTION 12, TOWNSHIP 24 N, RANGE 4E, W.M.
2436 74TH AVE SE



TREE RETENTION CALCULATION

| Tree ID | Species | MICC Status | DBH (in) | Height (ft) | Condition | Preservation Priority | Canopy Notes | Trunk Notes | Root Notes | Parcel # | |
|---------|------------------------------------|-----------------|----------|-------------|-----------|-----------------------|--------------|--------------------------------|-------------------------|----------------------------|-------------|
| 690 | Willow (Salix spp.) | n/a (condition) | 19 | 65 | 10 | Dying | 4 | 50% dead branches | Decay, cavity | 53151 00455 | |
| 691 | Maple, Bigleaf (Acer macrophyllum) | Large | 13 | 65 | 15 | Fair | 2 | Deadwood, onside d to the east | Slight lean to the east | Blackberry, ivy, horsetail | 53151 00455 |
| 692 | Cedar, Western-red (Thuja plicata) | n/a (condition) | 15 | 65 | 5 | Dead | 4 | | | 53151 00455 | |
| 693 | Maple, Bigleaf (Acer macrophyllum) | Large | 12 | 65 | 15 | Fair | 2 | Full crown | | Blackberry, ivy, horsetail | 53151 00455 |

| | | | | | | | | | | | | |
|-----|---|-----------------|----|-----|----|------|---|-----------------------------------|--|----------------------------|---------------------------------|-------------|
| 694 | Cottonwood, Black (Populus trichocarpa) | Large | 33 | 100 | 25 | Fair | 3 | failures, may not be practical | | Blackberry, ivy, horsetail | 53151 00455 | |
| 695 | Maple, Bigleaf (Acer macrophyllum) | n/a (condition) | 37 | 25 | 5 | Dead | 4 | | | Multistem, snag | 53151 00455 | |
| 696 | Maple, Bigleaf (Acer macrophyllum) | n/a (condition) | 22 | 25 | 5 | Dead | 4 | | | M snag | 53151 00455 | |
| 697 | Maple, Bigleaf (Acer macrophyllum) | n/a (condition) | 22 | 75 | 15 | Poor | 4 | broken branches, recently exposed | | Lean to the south, ivy | Saturated soil, blackberry, ivy | 53151 00455 |

SEE SHEET C4

| Tree ID | Species | MICC Status | DBH (in) | Height (ft) | Avg. Canopy Radius (ft) | Condition | Preservation Priority | Canopy Notes | Trunk Notes | Root Notes | Parcel # |
|---------|---|-----------------|----------|-------------|-------------------------|-----------|-----------------------|--|---|-------------------------------|-------------|
| 676 | Maple, Bigleaf (Acer macrophyllum) | Large | 10 | 60 | 10 | Fair | 2 | Sparse, major deadwood, poor structure | Slight lean | Steep slope | 53151 00455 |
| 677 | Cedar, Western-red (Thuja plicata) | Exceptional | 35 | 80 | 15 | Very Poor | 3 | Sparse, heavy ivy, signs of stress | Heavy ivy | Ivy, blackberry, steep slope | 53151 00455 |
| 678 | Cottonwood, Black (Populus trichocarpa) | n/a (condition) | 18 | 60 | 10 | Very Poor | 4 | Sparse, heavy ivy, signs of stress, hanging deadwood | Heavy ivy | Ivy, blackberry, steep slope | 53151 00455 |
| 679 | Alder, Red (Alnus rubra) | n/a (condition) | 14 | 60 | 10 | Very Poor | 4 | Sparse, heavy ivy, signs of stress, hanging deadwood | Heavy ivy | Ivy, blackberry, steep slope | 53151 00455 |
| 680 | Maple, Bigleaf (Acer macrophyllum) | n/a (condition) | 14 | 60 | 10 | Very Poor | 4 | Oneside d N, minor deadwood | Codominant stem, inclusion, lean to west | Ivy, blackberry, steep slope | 53151 00455 |
| 681 | Alder, Red (Alnus rubra) | n/a (condition) | 10 | 60 | 5 | Very Poor | 4 | Ivy, serious decline | Heavy ivy, cavity, seam | Ivy, blackberry, steep slope | 53151 00455 |
| 682 | Alder, Red (Alnus rubra) | n/a (condition) | 14 | 40 | 5 | Very Poor | 4 | Ivy, serious decline | Heavy ivy, | Ivy, blackberry, steep slope | 53151 00455 |
| 683 | Alder, Red (Alnus rubra) | Large | 12 | 60 | 10 | Fair | 3 | Ivy, signs of stress | Heavy ivy, poor structure | Ivy, blackberry, steep slope | 53151 00455 |
| 684 | Cedar, Western-red (Thuja plicata) | Large | 25 | 70 | 15 | Fair | 2 | Sparse, | Codominant stem, | | 53151 00455 |
| 685 | Cedar, Western-red (Thuja plicata) | Large | 12 | 70 | 15 | Fair | 2 | Sparse, | | | 53151 00455 |
| 686 | Cedar, Western-red (Thuja plicata) | Large | 20 | 70 | 20 | Fair | 2 | Sparse, | Codominant stem, poor structure, wishbone union at base | | 53151 00455 |
| 687 | Cherry (Prunus spp.) | n/a (condition) | 11 | 25 | 5 | Very Poor | 4 | Sparse, deadwood | Codominant stem, poor structure, flaking bark | | 53151 00455 |
| 688 | Willow (Salix spp.) | Exceptional | 12 | 50 | 10 | Poor | 3 | Sparse, deadwood, onside d to the north. | | Twisted, leaning to the north | 53151 00455 |
| 689 | Alder, Red (Alnus rubra) | n/a (condition) | 18 | 65 | 10 | Dying | 4 | Sparse, deadwood | Flaking bark, decay | | 53151 00455 |

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2430 74TH AVE SE
 TREE RETENTION PLAN
 2436 74TH AVE SE
 MERCER ISLAND
 WASHINGTON 98040
 PARCEL NO. 5315100455

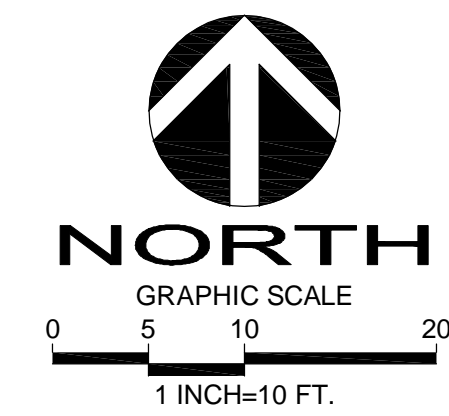
VANN LANZ
LNL BUILDS, LLC
 317 4TH STREET
 KIRKLAND, WASHINGTON 98033
 206.499.1277



APR
 MAJ

DATE: 10.18.23
 REVISION: IN TAKE COMMENTS

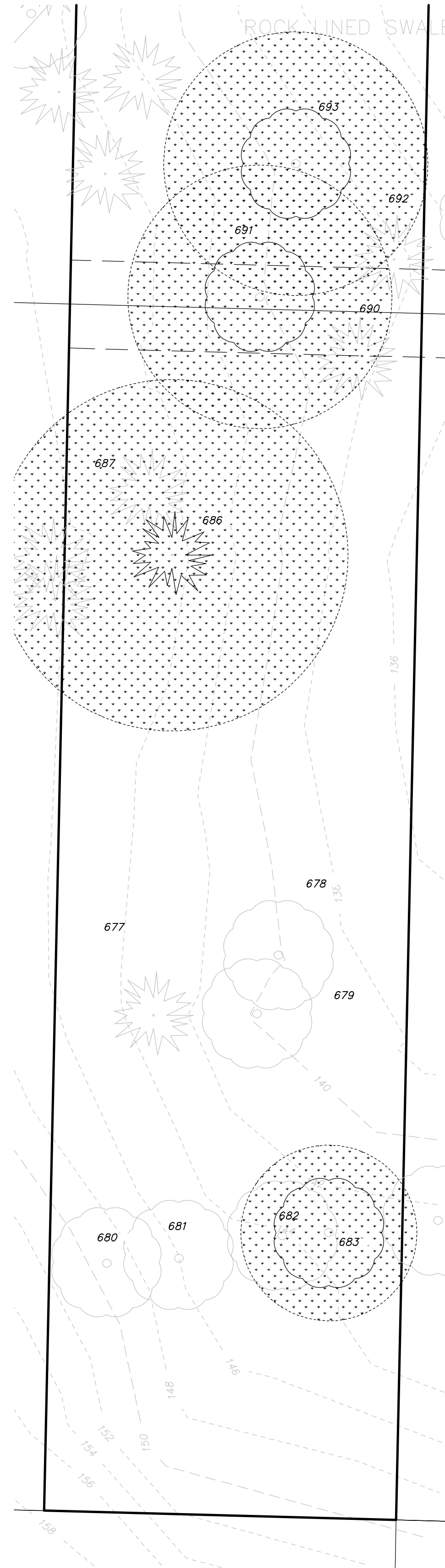
DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: MAJ
 DATE: 9.26.23
 PROJECT NO.: 23001
 DRAWING: C3
 SHEET: 3 OF 6



811
 Call 2 Working Days Before You Dig
 Utilities Underground Location Center
 (D,MT,ND,OR,WA)

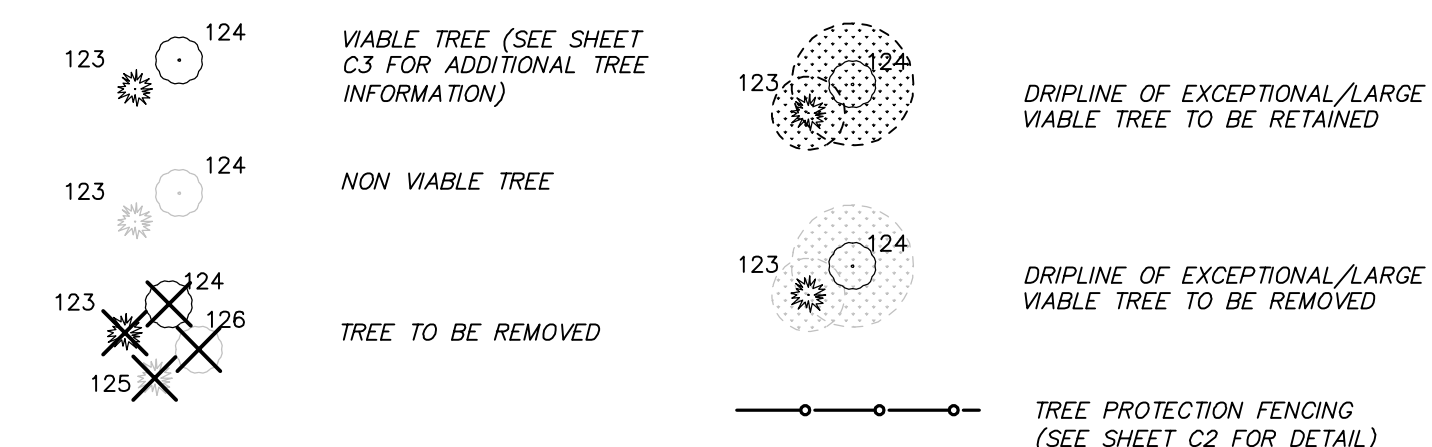
2436 74TH AVE SE

SEE SHEET C3



| Tree ID | Species | MICC Status | DBH (in) | Height (ft) | Avg. Canopy Radius (ft) | Condition | Preservation Priority | Canopy Notes | Trunk Notes | Root Notes | Parcel # |
|---------|---|---------------------|----------|-------------|-------------------------|-----------|-----------------------|--|---|--|-------------|
| 661 | Willow (Salix spp.) | Exceptional | 14 | 55 | 10 | Fair | 3 | Minor deadwood, broken branches, very poor structure | Poor structure | Steep slope, blackberry, large surface roots | 53151 00455 |
| 662 | Maple, Bigleaf (Acer macrophyllum) | Large | 21 | 60 | 20 | Poor | 3 | Onesided to the E, major deadwood, cavity, | Ivy, 4 stems, stump sprouts, decay, | Steep slope, blackberry, stump sprout | 53151 00455 |
| 663 | Cottonwood, Black (Populus trichocarpa) | Exceptional (Grove) | 20 | 80 | 15 | Fair | 2 | Onesided to S, major deadwood | Straight | Steep slope, blackberry | 53151 00455 |
| 664 | Cottonwood, Black (Populus trichocarpa) | Exceptional (Grove) | 27 | 80 | 15 | Fair | 2 | Full, major deadwood | Straight | Steep slope, blackberry | 53151 00455 |
| 665 | Cottonwood, Black (Populus trichocarpa) | Exceptional | 37 | 80 | 25 | Fair | 2 | Full, minor deadwood | Codominant stem at 6 ft, large inclusion, ivy | Steep slope, blackberry, large surface roots | 53151 00455 |
| 666 | Cottonwood, Black (Populus trichocarpa) | n/a (condition) | 24 | 80 | 15 | Very Poor | 4 | Onesided to NW, major deadwood, serious decline | Lean to NW | Steep slope, blackberry, large surface roots | 53151 00455 |
| 667 | Cottonwood, Black (Populus trichocarpa) | Exceptional (Grove) | 29 | 80 | 15 | Fair | 2 | Full canopy, major deadwood | Relatively straight, defect free, | Steep slope, blackberry, large surface roots | 53151 00455 |
| 657 | Maple, Bigleaf (Acer macrophyllum) | n/a (condition) | 14 | 50 | 5 | Dead | 4 | Dead | Ivy, cavity | Steep slope, blackberry | 53151 00458 |
| 658 | Cottonwood, Black (Populus trichocarpa) | Exceptional (Grove) | 22 | 75 | 15 | Fair | 2 | Full, | Many large burls, poor structure | Steep slope, blackberry | 53151 00455 |
| 659 | Maple, Bigleaf (Acer macrophyllum) | n/a (condition) | 18 | 55 | 15 | Poor | 4 | Onesided to the S, major deadwood | Ivy, cavity | Steep slope, blackberry | 53151 00455 |
| 660 | Willow (Salix spp.) | Exceptional | 16 | 55 | 10 | Fair | 3 | Minor deadwood, broken branches, very poor structure | 3 stems, | Steep slope, blackberry | 53151 00455 |

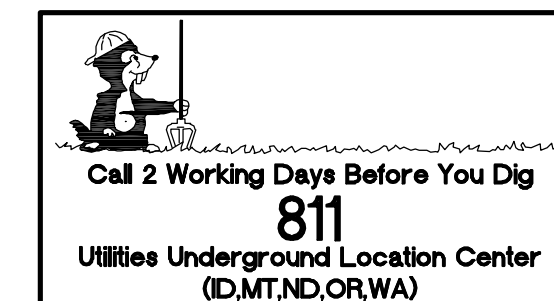
LEGEND



| Tree ID | Species | MICC Status | DBH (in) | Height (ft) | Avg. Canopy Radius (ft) | Condition | Preservation Priority | Canopy Notes | Trunk Notes | Root Notes | Parcel # |
|---------|---|---------------------|----------|-------------|-------------------------|-----------|-----------------------|--|---|---|-------------|
| 668 | Cottonwood, Black (Populus trichocarpa) | Exceptional (Grove) | 22 | 80 | 15 | Fair | 3 | Onesided to the north | Significant lean north | Steep slope, blackberry, large surface roots | 53151 00455 |
| 669 | Cottonwood, Black (Populus trichocarpa) | Exceptional (Grove) | 30 | 80 | 15 | Fair | 2 | Full canopy | Joined at base with adjacent tree | Steep slope, blackberry, large surface roots | 53151 00455 |
| 670 | Cottonwood, Black (Populus trichocarpa) | Exceptional (Grove) | 24 | 80 | 15 | Fair | 2 | Onesided to east | Joined at base with adjacent tree | Steep slope, blackberry, large surface roots | 53151 00455 |
| 671 | Maple, Bigleaf (Acer macrophyllum) | Exceptional (Grove) | 15 | 65 | 15 | Poor | 3 | Sparse canopy, signs of stress, 5% brown foliage | Poor structure, codominant stem | Steep slope, blackberry, raised root collar, multiple trees from same point | 53151 00455 |
| 673 | Maple, Bigleaf (Acer macrophyllum) | Exceptional (Grove) | 12 | 65 | 10 | Poor | 3 | Onesided to the W, major deadwood, ivy | Heavy ivy | Steep slope, blackberry | 53151 00455 |
| 674 | Cedar, Western-red (Thuja plicata) | Exceptional (Grove) | 10 | 60 | 10 | Fair | 2 | Suppressed, sparse | | Steep slope | 53151 00455 |
| 675 | Cedar, Western-red (Thuja plicata) | Exceptional (Grove) | 12 | 60 | 10 | Fair | 2 | Suppressed, sparse | | Steep slope | 53151 00455 |
| 698 | Maple, Bigleaf (Acer macrophyllum) | n/a (condition) | 20 | 75 | 15 | Poor | 4 | Large deadwood, onesided south, | Lean to the south, ivy, large basal cavity, multistem at base | Saturated soil, blackberry, ivy | 53151 00455 |
| 699 | Cedar, Western-red (Thuja plicata) | Large | 13 | 35 | 10 | Good | 2 | Full canopy | Interesting structure, swooping | Saturated soil, blackberry, ivy | 53151 00455 |
| 700 | Cottonwood, Black (Populus trichocarpa) | n/a (condition) | 21 | 75 | 10 | Poor | 4 | Large deadwood, 5 large broken stubs | Ivy | Saturated soil, blackberry, ivy | 53151 00455 |
| 701 | Cedar, Western-red (Thuja plicata) | Large | 24 | 50 | 15 | Good | 2 | Suppressed | | Steep slope, blackberry, stump sprout | 53151 00455 |

TREE RETENTION CALCULATION

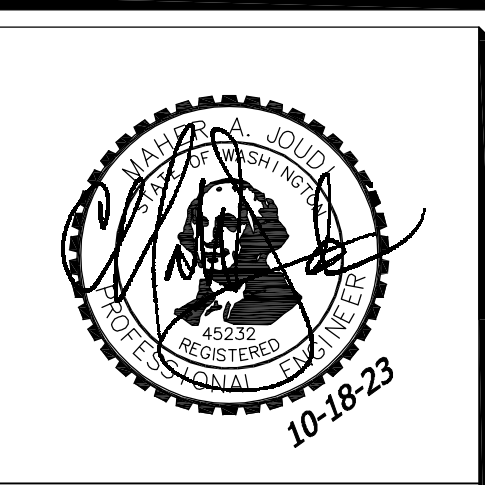
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|------------------------------------|----|
| TOTAL NUMBER OF EXCEPTIONAL TREES: | 16 |
| TOTAL LARGE TREES: | 11 |
| TOTAL VISIBLE TREES: | 27 |
| REQUIRED: 30% VISIBLE TREES: | 8 |
| PROPOSED VISIBLE TREES RETAINED: | 23 |



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2430 74TH AVE SE
 TREE RETENTION PLAN
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 MERCER ISLAND
 WASHINGTON 98040
 PARCEL NO. 5315100455

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 206.499.1277



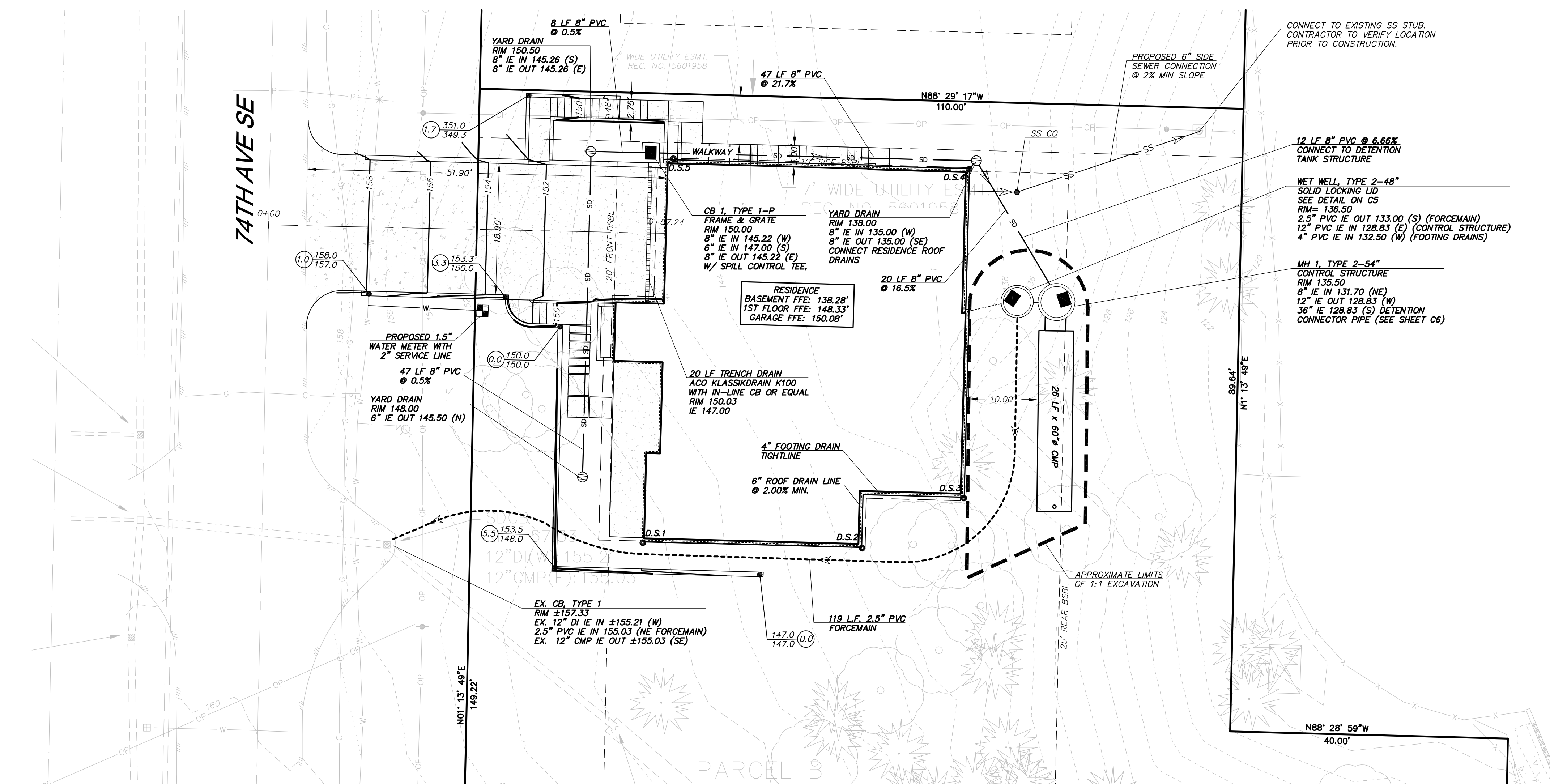
APR MAJ

DATE 10.18.23
 REVISION INTAKE COMMENTS

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: MAJ
 DATE: 9.26.23
 PROJECT NO.: 23001

DRAWING: C4
 SHEET: 4 OF 6

NW 1/4 SECTION 12, TOWNSHIP 24 N, RANGE 4E, W.M.
2436 74TH AVE SE



- GENERAL NOTES:**
- SITE PLAN PROVIDED BY CLIENT ON JANUARY 5, 2023.
 - WALL/ FOOTING/ LAWN UNDERDRAIN DRAINAGE SYSTEM AND ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS MADE AT LEAST ONE FOOT BELOW THE WALL/FOOTING/ UNDERDRAIN DRAINAGE SYSTEM AND DOWN SLOPE OF THE WALL/BUILDING FOUNDATION AND DOWNSTREAM OF THE DETENTION TANK.
 - EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES SHOWN, OR NOT SHOWN IN THEIR PROPER LOCATION.
 - CONTRACTOR SHALL POT-HOLE LOCATION OF EXISTING UTILITIES TO BE RECONNECTED PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR TO VERIFY CONDITION AND GOOD WORKING ORDER OF ALL EXISTING UTILITIES TO BE RECONNECTED OR RE-USED PRIOR TO START OF CONSTRUCTION.
 - SOILS ON THE SITE CONSISTS OF KITSAP SILT LOAM (kpb) PER THE NRCS WEB SOIL SURVEY.
 - ROOF DRAINS SHALL BE 4" OR 6" PVC AS SHOWN AND HAVE A MINIMUM SLOPE OF 2.00%.
 - ALWAYS CALL 811 TWO WORKING DAYS BEFORE YOU DIG.

FIRE SPRINKLER NOTE:
 NFPA 13R FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13R AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.

FIRE ALARM NOTE:
 A NFPA 72 - CHAPTER 29 MONITORED FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.

LAWN AND LANDSCAPE AREA NOTE:
 THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP 15.3. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

AREA BREAKDOWN:
 LOT SIZE: 25,799 S.F. (0.592 AC.)
 EX. HARD SURFACES ON LOT: 0 S.F.
 NEW HARD SURFACES ON LOT:
 MAIN HOUSE ROOF: 2,616 S.F.
 DRIVEWAY: 532 S.F.
 WALKS & PATIOS: 270 S.F.
 TOTAL NEW ON LOT: 3,418 S.F. (13.2%)
 NEW HARD SURFACES: 3,418 S.F.
 LOT PERVIOUS: 22,381 S.F.
 OFFSITE DRIVEWAY: 478 S.F.
 TOTAL PROJECT HARD SURFACES: 3,896 S.F.
 TOTAL P.G.I.S.: 1,010 S.F.

DOWNSPOUT ELEVATIONS

| DOWNSPOUT # | INVERT ELEV. |
|-------------|--------------|
| 1 | 145.00 |
| 2 | 140.84 |
| 3 | 135.53 |
| 4 | 135.04 |
| 5 | 142.55 |

- UTILITY LEGEND:**
- SD PROPOSED STORM LINE
 - C PROPOSED COMMUNICATION LINE
 - W PROPOSED WATER LINE
 - P PROPOSED POWER LINE
 - SS PROPOSED SEWER LINE

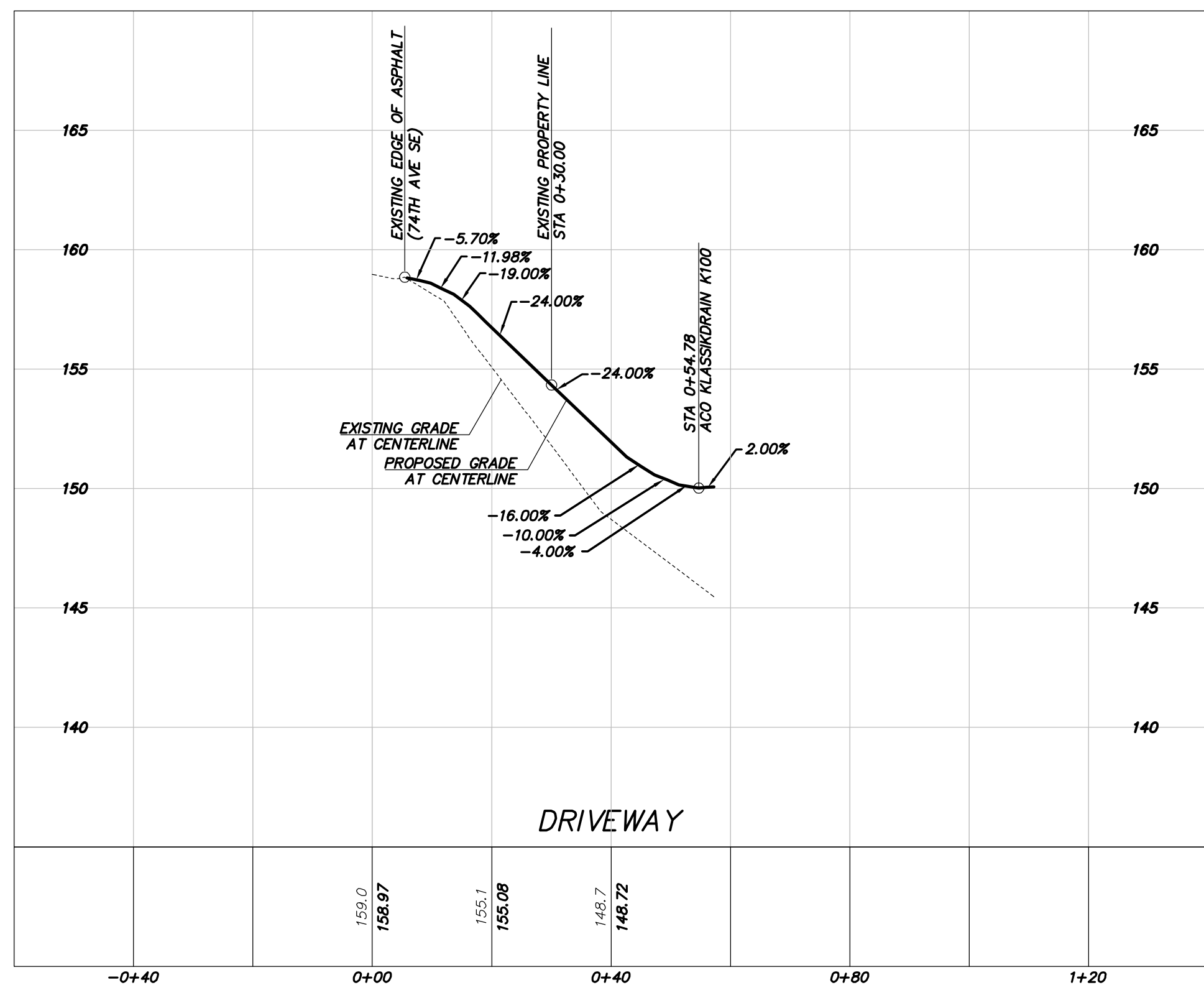
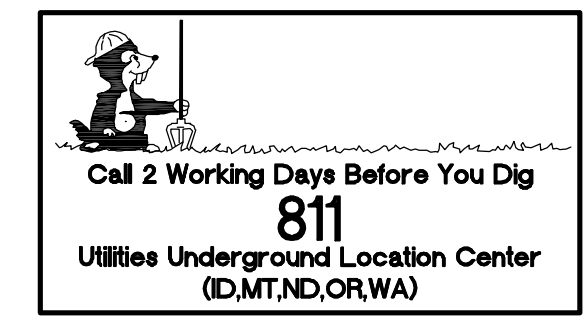
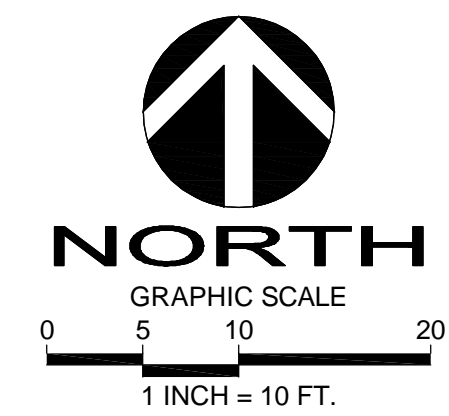
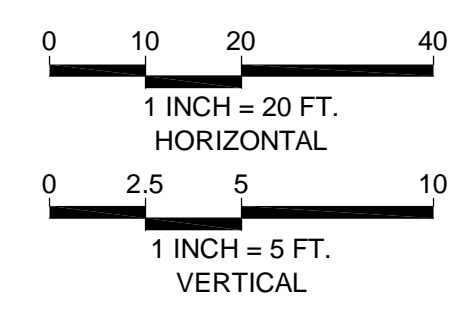


Table 1
 ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA

| New and Replaced Impervious Surface Area (sf) | Detention Pipe Diameter (in) | Detention Pipe Length (ft) | | Lowest Orifice Diameter (in) ^(a) | | Distance from Outlet Invert to Second Orifice (ft) | | Second Orifice Diameter (in) | |
|---|------------------------------|----------------------------|---------|---|---------|--|---------|------------------------------|---------|
| | | B soils | C soils | B soils | C soils | B soils | C soils | B soils | C soils |
| 500 to 1,000 sf | 36" | 30 | 22 | 0.5 | 0.5 | 2.2 | 2.0 | 0.5 | 0.8 |
| | 48" | 18 | 11 | 0.5 | 0.5 | 3.3 | 3.2 | 0.9 | 0.8 |
| | 60" | 11 | 7 | 0.5 | 0.5 | 4.2 | 3.4 | 0.5 | 0.6 |
| 1,001 to 2,000 sf | 36" | 66 | 43 | 0.5 | 0.5 | 2.2 | 2.3 | 0.9 | 1.4 |
| | 48" | 34 | 23 | 0.5 | 0.5 | 3.2 | 3.3 | 0.9 | 1.2 |
| | 60" | 22 | 14 | 0.5 | 0.5 | 4.3 | 3.6 | 0.9 | 0.9 |
| 2,001 to 3,000 sf | 36" | 90 | 66 | 0.5 | 0.5 | 2.2 | 2.4 | 0.9 | 1.9 |
| | 48" | 48 | 36 | 0.5 | 0.5 | 3.1 | 2.8 | 0.9 | 1.5 |
| | 60" | 30 | 20 | 0.5 | 0.5 | 4.2 | 3.7 | 0.9 | 1.1 |
| 3,001 to 4,000 sf | 36" | 120 | 78 | 0.5 | 0.5 | 2.4 | 2.2 | 1.4 | 1.6 |
| | 48" | 62 | 42 | 0.5 | 0.5 | 2.8 | 2.9 | 0.8 | 1.3 |
| | 60" | 42 | 26 | 0.5 | 0.5 | 3.8 | 3.9 | 0.9 | 1.3 |



2430 74TH AVE SE
 GRADING & UTILITIES PLAN
 2436 74TH AVE SE
 MERCER ISLAND
 WASHINGTON 98040
 PARCEL NO. 5315100455

VANN LANZ LNL BUILDS, LLC
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 206-489-1277



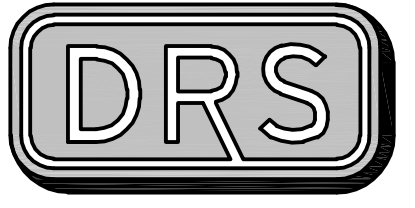
APR
 MAJ

REVISION
 INTAKE COMMENTS
 DATE
 10.18.23

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: MAJ
 DATE: 9.26.23
 PROJECT NO.: 23001

DRAWING: C5
 SHEET: 5 OF 6

NW 1/4 SECTION 12, TOWNSHIP 24 N, RANGE 4E, W.M.
2436 74TH AVE SE



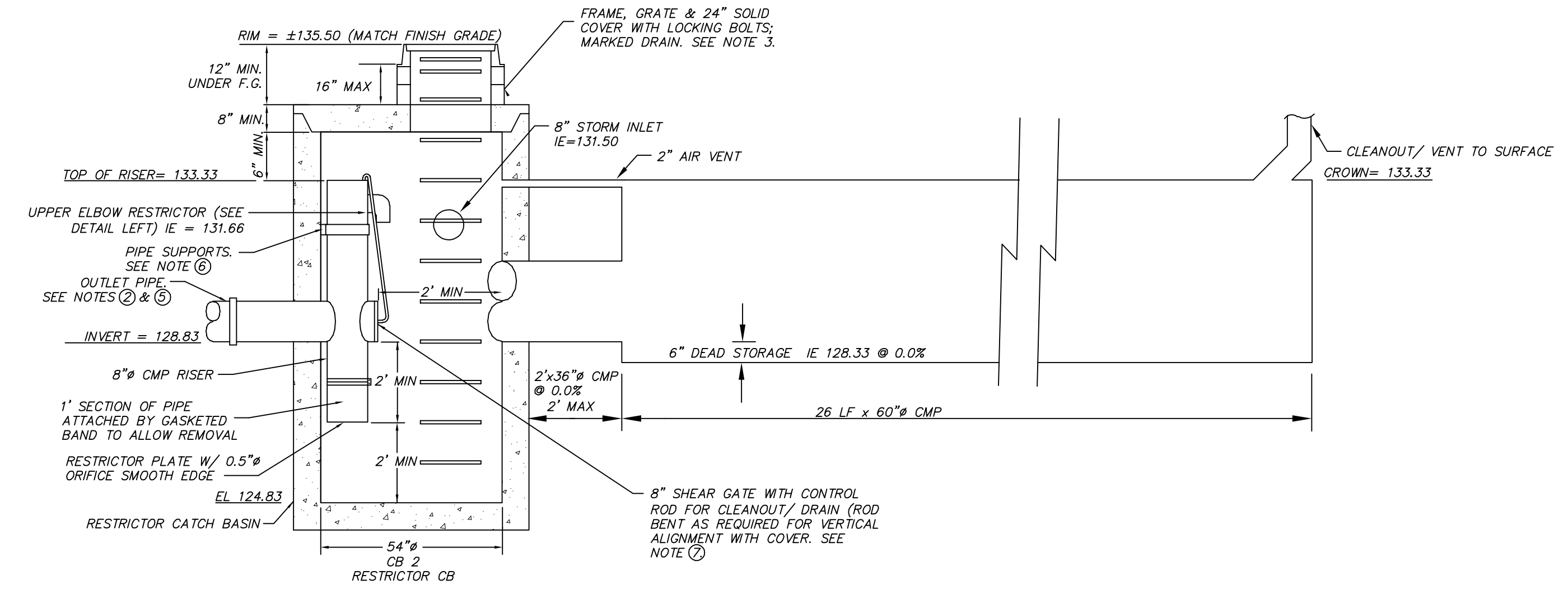
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STANDARD DETENTION SYSTEM NOTES:

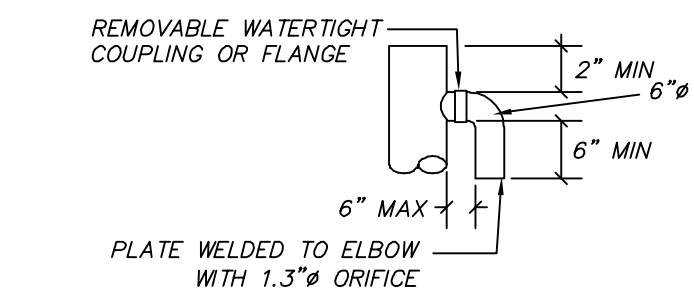
- CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LOPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
- FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

RESTRICTOR CATCH BASIN NOTES:

- USE A MINIMUM OF A 72 IN. DIAM. TYPE 2 CATCH BASIN WHEN CONNECTING PIPE MATERIAL IS CONCRETE OR LOPE. A 54 IN. DIAM. TYPE 2 CATCH BASIN MAY BE USED FOR OTHER CIRCULAR SINGLE WALL PIPE (SUCH AS CORRUGATED ALUMINUM PIPE).
- OUTLET PIPE: MIN. 6 INCH.
- METAL PARTS: CORROSION RESISTANT NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET SO:
 - CLEANOUT GATE IS VISIBLE FROM TOP;
 - CLUMP-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - FRAME IS CLEAR OF CURB.
- IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
- PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3"-0" VERTICAL SPACING).
- THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 26M AND ASTM B 275, DESIGNATION Z0324; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LIFT HANDLE SHALL BE MADE OF SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION). IT MAY BE SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
- THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FEET.



DETENTION TANK & RESTRICTOR CB



ELBOW RESTRICTOR DETAIL

DETENTION TANK PUMP SYSTEM NOTES:

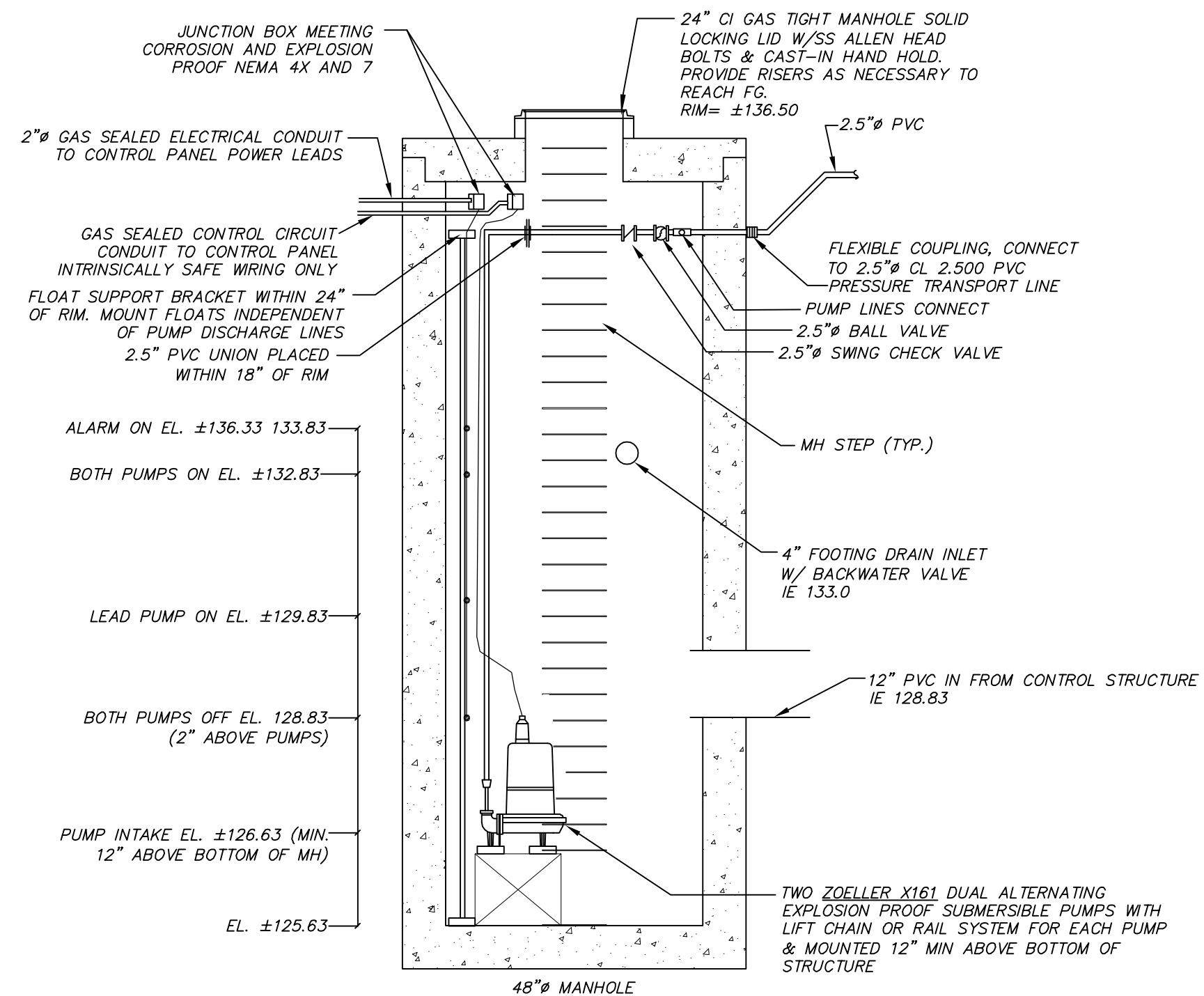
- THERE IS A TOTAL OF 28.40 FT. OF ELEVATION HEAD FROM THE PUMP TO CB 2 AND 30.9 FT. OF T.O.M. THROUGH THE PIPE AND FITTINGS AT 29 GPM.
- PUMP LINE SHALL BE CLASS 200 PVC AND MEET THE REQUIREMENTS OF ASTM D2241 SDP-21.
- EACH PUMP SHALL PROVIDE 29 GPM @ 30.9 FT. OF HEAD.
- PUMPS SHALL OPERATE IN AN "ON-DEMAND" CONFIGURATION, WITH EACH PUMP ALTERNATELY SELECTED BY THE CONTROL PANEL AS THE "LEAD PUMP" OR "LAG PUMP". CONTROLS FOR EACH PUMP SHALL INCLUDE: PUMP ON; PUMP OFF; HIGH WATER LEVEL ALARM.
- DUPLEX CONTROL PANEL SHALL HAVE AUDIO/VISUAL ALARM ON SEPARATE CIRCUITS AND BE MOUNTED IN DIRECT LINE OF SIGHT OF THE PUMP ACCESS LID.
- PROVIDE LIFT CHAIN OR RAIL SYSTEM FOR PUMP ACCESS.
- FLOATS/ PUMP CONTROL SWITCHES SHALL BE MOUNTED INDEPENDENT OF THE PUMP AND TRANSPORT LINES.
- THE STORMWATER PUMPING SYSTEM SHALL BE OWNED, OPERATED, MAINTAINED, REPAIRED, AND REPLACED (AS NEEDED) BY PROPERTY OWNER(S) SERVED BY SUCH SYSTEM.
- PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR ANY/ALL CLAIMS FOR INJURIES AND DAMAGE DUE TO THE OPERATION OR NON-OPERATION OF THE PUMP SYSTEM AND EMERGENCY OVERFLOW.
- IT IS HIGHLY RECOMMENDED THAT THE PUMP AND PUMP CONTROLS ARE RATED FOR CLASS 1 DIVISION 1 ENVIRONMENT (EXPLOSION PROOF).
- IT IS HIGHLY RECOMMENDED THAT AUTOMATIC EMERGENCY BACKUP POWER GENERATOR BE PROVIDED FOR PUMP AND ALARM CIRCUITS (BY OTHERS).
- IT IS HIGHLY RECOMMENDED THAT THE PROPERTY OWNER(S) CONTRACT WITH A PRIVATE SECURITY/ MONITORING SERVICE TO MONITOR AND TROUBLESHOOT THE PUMP SYSTEM IN THE EVENT OF A TOTAL SYSTEM FAILURE (E.G., POWER OUTAGE AND GENERATOR FAILURE).

PUMP SYSTEM OPERATION AND MAINTENANCE:

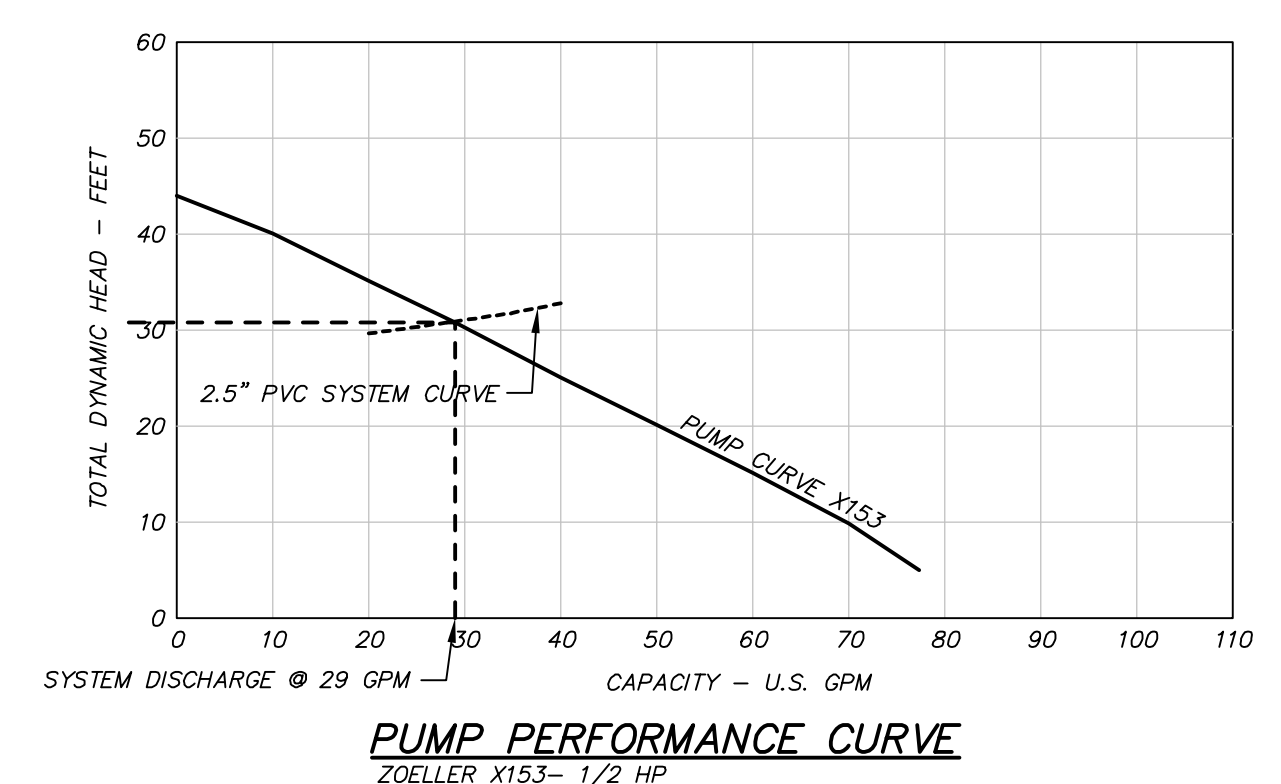
SYSTEM OPERATION:
 IN A PUMP-TO-GRAVITY STORMWATER SYSTEM, A PUMP IS USED TO CONVEY STORMWATER COLLECTED IN A PUMP CHAMBER (WET WELL) TO THE APPROVED DISCHARGE LOCATION. THE WET WELL CONTAINS A PUMP OPERATING IN AN "ON-DEMAND" CONFIGURATION. THIS SYSTEM CONTAINS MINIMAL EMERGENCY STORAGE IN THE EVENT OF A SYSTEM FAILURE. A 2.5-INCH DIAMETER FORCE MAIN FROM THE WET WELL DISCHARGES TO A YARD DRAIN LOCATED AT THE EASTERN PROPERTY LINE OF THE LOT. THE DISCHARGE PIPE IN THE YARD DRAIN INCLUDES A DOWN ELBOW TO PROVIDE ENERGY DISSIPATION.

CONTROLS FOR THE PUMP INCLUDE: PUMP ON; PUMP OFF; AND HIGH WATER LEVEL ALARM. WHEN STORMWATER IN THE WET WELL RISES TO THE LEVEL OF THE "ON" FLOAT SETTING, THE PUMP IS ACTIVATED AND PUMPS THE LEVEL OF THE STORMWATER DOWN UNTIL IT REACHES THE "OFF" FLOAT SETTING. IF THE WATER LEVEL EXCEEDS THE "ALARM" LEVEL, A RED LIGHT AND AN AUDIBLE BUZZER WILL TURN ON AT THE CONTROL PANEL. PRESSING THE "SILENCE" BUTTON ON THE CONTROL PANEL WILL ONLY SILENCE THE AUDIBLE ALARM AND IS NOT A SOLUTION TO THE ALARM CONDITION. THE ALARM LIGHT WILL REMAIN LIT UNTIL THE ALARM CONDITION HAS BEEN RESOLVED. WE RECOMMEND THAT THE CONTROL PANEL BE EQUIPPED FOR REMOTE MONITORING BY A PRIVATE O&M FIRM TO ENSURE RESOLUTION OF ALARM CONDITIONS IN A TIMELY MANNER. CODE REQUIRES THAT THE PUMP AND ALARM BE ON DIFFERENT CIRCUITS SO THAT IF THE PUMP BREAKER TRIPS, THE ALARM CAN STILL OPERATE.

RECOMMENDED MAINTENANCE:
 THE PUMP SHOULD BE SUBMERGED DURING NORMAL OPERATION BECAUSE HEAT GENERATED BY THE PUMP IS DISSIPATED IN THE SURROUNDING WATER. OTHERWISE, THE PUMP COULD BURN OUT IF ALLOWED TO OPERATE IN A NON-SUBMERGED CONDITION. CHECK TO SEE THAT THE FLOAT SWITCHES ARE CLEAN AND FREE IN THEIR MOVEMENTS, AND TEST THE HIGH ALARM FLOAT BY LIFTING IT, OR BY PUSHING DOWN ON THE LOW ALARM FLOAT (IF PRESENT). IF THE ALARM DOES NOT SOUND AND THE CIRCUIT BREAKER IS NOT TRIPPED, CONTACT A QUALIFIED ELECTRICIAN FOR SERVICING. PERFORM FLOAT TESTING QUARTERLY DURING THE FIRST YEAR OF OPERATION, THEN AT SEMI-ANNUALLY THEREAFTER.



WET WELL 1



PUMP PERFORMANCE CURVE
 ZOELLER X153- 1/2 HP

2430 74TH AVE SE

NOTES AND DETAILS
 2436 74TH AVE SE
 MERCER ISLAND
 WASHINGTON 98040
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 LNL BUILDS, LLC

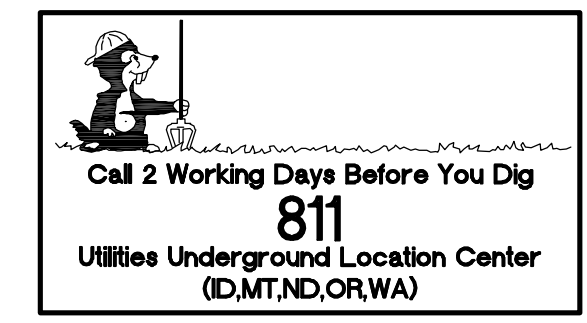
317 4TH STREET
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APR
 MAJ

REVISION
 INTAKE COMMENTS
 DATE
 10.18.23

DRAFTED BY: RMF
 DESIGNED BY: RMF
 PROJECT ENGINEER: MAJ
 DATE: 9.26.23
 PROJECT NO.: 23001



DRAWING: C6
 SHEET: 6 OF 6